



151 W. Church Street  
Lewisville, TX 75057

## City of Lewisville, TX Agenda

### Joint Meeting of the Planning and Zoning Commission and Transportation Board

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**Tuesday August 4, 2020**

**6:30 P.M.**

**Zoom Meeting Will be Held  
Links for the Meeting are  
Contained Below**

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The Planning and Zoning, Overlay District Board and Transportation Board meeting scheduled for Tuesday, August 4<sup>th</sup>, will only be open to public via remote access. This is pursuant to Governor Greg Abbott's temporary suspension of various provisions of the Texas Open Meetings Act to allow for telephonic or videoconference meetings of governmental bodies that are accessible to the public in an effort to reduce in-person meetings that assemble large groups of people.

Citizens/Visitors wanting to access the meeting may go to <https://cityoflewisville.zoom.us/j/97244765085> or call 888.475.4499 (Toll Free) or 877.853.5257 (Toll Free) using the following information: Webinar ID: 972 4476 5085. Listeners must sign-in to the event in order to comment. Please use the "raise hand" function to participate in any public hearing process while using the zoom application. If you have called in to the meeting, press \*9 to raise your hand and speak. If you have a technical issue connecting to this meeting, or during the meeting, call 817.938.4409 or e-mail [planning@cityoflewisville.com](mailto:planning@cityoflewisville.com).

Comments will be accepted via e-mail until 5 p.m. prior to the meeting. To submit a comment, please e-mail [planning@cityoflewisville.com](mailto:planning@cityoflewisville.com) with the agenda date and agenda number in the subject line of the e-mail. Please include your name and physical address for the record.

#### **PLANNING AND ZONING COMMISSION MEETING**

- 1. CALL TO ORDER AND ANNOUNCE THAT A QUORUM IS PRESENT.**
- 2. SELECTION OF CHAIRMAN, VICE-CHAIRMAN AND ZBOA REPRESENTATIVE.**
- 3. APPROVE MINUTES OF THE JULY 21, 2020 MEETING.**
- 4. REGULAR HEARING – PLATS**

(The following plats have variances requested or are being recommended for disapproval with listed deficiencies and will be considered following a regular hearing in accordance with Local Government Code Section 212)

- A. Development Plan/Preliminary Plat of Lewisville Corporate Center Addition, Lot 2, Block A; on 6.641 Acres out of the Steven Riggs Survey, Abstract Number 1088; Zoned Planned Development – Mixed Use (PD-MU) District; Located on the West Side of State Highway 35 East (I-35E), Approximately 850 Feet South of Justin Road (F.M. 407), Being a Replat of Lot 2, Block A, Lewisville Corporate Center Addition.
- B. Final Plat of South Village Addition, Lot 2R2R, Block A; on 0.214 Acres out of the J.W. King Survey, Abstract Number 696; Zoned General Business (GB) District and Old Town Mixed Use

Two (OTMU2) District; Located on the West Side of South Mill Street Approximately 300 Feet South of Elm Street, A Portion Being a Replat of Lot 2R2, Block A, South Village Addition.

- C. Final Plat of Castle Hills Golf Villas Phase III Addition, with Five Variances, Containing 15 Residential Lots and 4 Open Space Lots; on 2.171 Acres, Out of the P.R. Splane Survey, Abstract No. 1212, and J.T. Dooley Survey, Abstract No. 343; With Townhouse Two Zoning Designation (TH-2) and Estate Townhouse Zoning Designation (ETH); Located at the Southeast Corner of Lady of the Lake Boulevard and Sir Lovel Lane.
- D. Continued - Preliminary Plat of Parker Place Addition, Containing 131 Residential Lots and 3 Open Space Lots; on 24.120 Acres, Out of the B.B.B. and C.R.R. Survey, Abstract No. 180, J. Johnson Survey, Abstract No. 1609, and A. Singleton Survey, Abstract No. 1138; Zoned Planned Development – Estate Townhouse District (PD – ETH); Located at the Northeast Corner of Windhaven Parkway and Parker Road (F.M. 544).

## **5. PUBLIC HEARINGS – ZONING & SPECIAL USE PERMITS**

- A. **Public Hearing:** Consideration of a Special Use Permit for a Self-Storage/Mini Warehouse; on Approximately 3.57 Acres, Legally Described as Lot 1, Block A, 121 East Addition, Located at 2391 East State Highway 121 Business, Zoned Light Industrial District (LI); as Requested by Arlyn Samuelson, Westwood Professional Services, on behalf of Rick Jones, Advantage 121 Storage LP, the Property Owner. (Case No. 20-04-1-SUP).

## **6. OTHER BUSINESS**

- A. The Transportation Board will meet following the Planning and Zoning Commission Meeting.

## **7. ADJOURNMENT**

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### **TRANSPORTATION BOARD**

- 1. CALL TO ORDER AND ANNOUNCE A QUORUM IS PRESENT.**
- 2. SELECTION OF CHAIRMAN, VICE-CHAIRMAN.**
- 3. APPROVAL OF THE MINUTES OF THE JULY 7, 2020 MEETING.**
- 4. VISITORS/CITIZENS FORUM -** At this time, any person with business before the Board not scheduled on the Agenda may speak to the Board. No formal action can be taken on these items at this meeting.
- 5. Consideration of an Amendment to Section 15-104, Trucks Operation Restricted, of the Lewisville City Code to Extend the Truck Restriction on Church Street to include the block between Mill Street and Kealy Avenue and Make a Recommendation to the City Council Regarding the Amendment.**
- 6. ADJOURNMENT**

**NOTICE OF ASSISTANCE AT THE PUBLIC MEETINGS**

The City will provide appropriate auxiliary aids and services, including sign language interpreters and assisted listening devices, whenever necessary to ensure effective communication with members of the public who have hearing, sight or speech impairments, unless doing so would result in a fundamental alteration of its programs or an undue financial burden. A person who requires an accommodation or auxiliary aid or service to participate in a City program, service or activity, should contact the sponsoring Department, or the Human Resource Department at 972-219-3450 or by Fax at 972-219-5005 as far in advance as possible but no later than 48 hours before the scheduled event.

**MINUTES**  
**PLANNING AND ZONING COMMISSION**  
**JULY 21, 2020**

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**Item 1:**

The Lewisville Planning and Zoning Commission meeting was called to order at 6:30 pm by Chairman James Davis.

Members present: William Meredith (Teleconference); John Lyng (Teleconference); MaryEllen Miksa (Teleconference); James Davis (Teleconference); Alvin Turner (Teleconference); Karen Locke (Teleconference) and Erum Ali (Teleconference).

Staff members present: Richard Luedke, Planning Director (Teleconference); Michele Berry, Planning Manager (Teleconference); Jonathan Beckham, Planner (Teleconference).

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**Item 2:**

The second item on the agenda was to approve the minutes from the July 7, 2020, meeting. *A motion was made by Karen Locke to approve the minutes as presented, seconded by MaryEllen Miksa. The motion passed unanimously (7-0).*

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**Item 3:**

Regular Hearing Plats were next on the agenda. There were two items for consideration:

- A. Preliminary Plat of Parker Place Addition, Containing 131 Residential Lots and 3 Open Space Lots; on 24.120 Acres, Out of the B.B.B. and C.R.R. Survey, Abstract No. 180, J. Johnson Survey, Abstract No. 1609, and A. Singleton Survey, Abstract No. 1138; Zoned Planned Development – Estate Townhouse District (PD – ETH); Located at the Northeast Corner of Windhaven Parkway and Parker Road (F.M. 544).

Staff gave a brief overview of the proposed final plat and indicated that the applicant requested the item be tabled for consideration until the next Planning & Zoning Commission meeting. *A motion was made by William Meredith to table the item until the Tuesday, August 4, 2020 meeting. The motion was seconded by Karen Locke. The motion passed unanimously (7-0).*

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- B. Final Plat of Old Town Lofts Addition, Lot 1, Block A and Lot 1, Block B; on 2.56 Acres out of the J.W. King Survey, Abstract Number 696; Zoned Old Town Center (OTC) District; Located on the Northwest Corner of Elm Street and South Mill Street and the Southeast Corner of Main Street and South Mill Street; a Portion Being a Replat of Lot 1, Block A, Vision Addition and Parts of Lots 2, 3, and 7, Block 4, Kealy Addition.

Staff gave a brief overview of the proposed final plat with a recommendation of disapproval due to deficiencies and a recommendation to delegate to staff the ability to accept and approve the plat once the listed deficiencies are corrected. Once the deficiencies listed are corrected the approved

plat will be brought to the Chairman for signature. A motion was made by Erum Ali to disapprove the final plat and grant staff the ability to accept and approve the final plat. The motion was seconded by Alvin Turner. The motion passed unanimously (7-0).

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**Item 4:**

Public Hearing – Zoning & Special Use Permits were next on the agenda. There was one item for consideration:

- A. **Continued Public Hearing:** Consideration of a Zone Change Request from Single Family Residential (R-7.5) to Old Town Mixed Use 2 District (OTMU2); on Approximately 0.52 Acres, Legally Described as Lot 6 and a Portion of Lot 2, Block E, O.T. Lewisville and Located at 135 West Walters Street; as Requested by William Peck of William Peck & Associates Inc., on Behalf of SJC Holdings, LLC, the Property Owner. (Case No. 20-06-2-Z)

Staff gave a brief overview of the proposed zone change request and recommended approval. Chairman Davis then opened the public hearing. With no one coming forward to speak the public hearing was then closed. A motion was made by William Meredith to recommend approval of the zoning change request as presented. The motion was seconded by Karen Locke. The motion passed unanimously (7-0). Staff indicated that the item would appear before the Lewisville City Council on Monday, August 3, 2020 for a second public hearing and final decision.

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There being no other business to discuss, the meeting was adjourned at 6:42 p.m.

Respectfully Submitted,

Approved,

\_\_\_\_\_  
Michele Berry, AICP  
Planning Manager

\_\_\_\_\_  
James Davis, Chairman  
Planning and Zoning Commission

MEMORANDUM

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**TO:** Rrcppkpi "cpf \ qpkpi "Eqo o kukqp"

**FROM:** O lej grg"Dgtt { .Rrcppkpi "O cpci gt"

**DATE:** Cwi wuv'6."4242"

**SUBJECT: Development Plan/Preliminary Plat of Lewisville Corporate Center Addition, Lot 2, Block A; on 6.641 Acres out of the Steven Riggs Survey, Abstract Number 1088; Zoned Planned Development – Mixed Use (PD-MU) District; Located on the West Side of State Highway 35 East (I-35E), Approximately 850 Feet South of Justin Road (F.M. 407), Being a Replat of Lot 2, Block A, Lewisville Corporate Center Addition.**

**BACKGROUND:**

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**ANALYSIS:**

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- 70 Rctnkpi "hqv'rcpf uecr g" pggf u"vq" eqo r n{ "
- 80 Dwkf kpi "us wctg" hqvci g" pggf u"vq" eqo r n{ "
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370Rctnkpi "hqu'uj cm'dg'lp"vj g'kpvgtkqt"qh'yj g'dnem"y kj "dwkrf kpi "htqpvkpi "vj g'utggv"  
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380Rctnkpi 'tcvq'dcugf "qp'wug'pggf u'vq'dg'r tqxkf gf "

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### **RECOMMENDATION:**"

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Buildings need to front private easement street facing NRP Development per Ordinance 0232-20-ZON.

Parking lots shall be located in the interior of the block, with building fronting the street between this development and NRP to the west. Ordinance 0232-20-ZON.

looks like TC-3 is planned which is permitted. 61' easement established per plat, sidewalk need to fit within easement, 24' drive with 8' parking, Page P-10

Landscape screening required for parking along IH-35E and side streets, Ordinance 4225-11-2015 page P-12.

unsafe configuration dumps traffic in opposite direction flow. No code reference, consider redesigning for safety.

Include current iteration of concept plan, original with the Planned development. Concept plan changes have to be approved by the Planning and Zoning Commission per Ordinance 4225-11-2015 Page P-2 F.5

No parking within 20' of ADA crosswalk per MUTCD.

Restaurant, fast food (with a drive thru) not permitted per Ordinance 4225-11-2015 P-18 and P-4. Other drive thru's permitted as part of multi-tenant building (bank, dry cleaner, etc)

Dumpsters and service areas not shown, will need to be at rear, which is the IH-35E side of the property per Ordinance 0232-20-ZON.

Per Ordinance 0232-20-ZON Buildings should 8' back from curb on internal street.

Private street. access utility, pedestrian and drainage easement to function as street. Designed as TC-2 with NRP. sidewalks and tree plantings to match NRP and per Ordinance 4225-11-2015 Page P-6 and Ordinance 0232-20-ZON.

Ordinance 0232-20-ZON requires building face toward this internal street with 6' sidewalk.

Need use and parking ratio calculations. parking ratios per Ordinance 0232-20-ZON

Side corner setback needs to match front setback Ordinance 0232-20-ZON

Drive through here forces counterflow of traffic and dangerous condition. Please revise to eliminate stacking contrary to vehicle flow.

Need building sq ft to confirm compliance. Only see about 47,000 SF. Concept shows larger longer buildings. Minimum based on residential ground floor SF within 350' of highway and is approximately 55,000. Provide ground floor SF for residential v. commercial numbers within 350' of IH-35E ROW per Ordinance 4225-11-2015 page P-3.

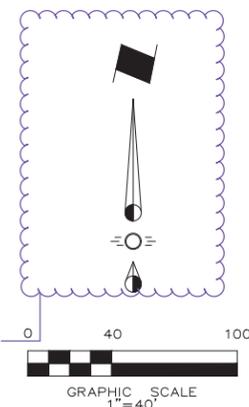
Per PD Ordinance 4225-11-2015 submittal needs to include everything per Preliminary Plat checklist in section 6-73. Per 6-73 provide: Title Block per code appendix; location map (city base map with 1"-1,000' scale; Abstracts and surveys of subject property; abstract and survey lines; boundary line (accurate in scale); lot numbers and block numbers for each lot; zoning of subject and adjacent property; setbacks from lot lines and easements; dimensions of lots and blocks, contours of 2' or less; names of adjacent subdivision or record owners of property; cross section of proposed streets (including private streets - NRP provided as well; Traffic control devices and striping including parking spaces); easements, deed restrictions or other encumbrances; control of access lines, corner clips and clear vision areas, phase lines must be clearly delineated with improvements capable of standing along and meeting all city requirements at each phase; City signature block (per appendix); name, address and phone number of developer, owner and engineer/surveyor; sheet size of 22" by 24". Please insure all information correct, consistent and clear.

NOTE: THIS IS NOT A CONSTRUCTION DOCUMENT. THIS DOCUMENT IS FOR CONCEPTUAL PLANNING PURPOSES ONLY.

Current zoning regulations from revised PD apply per Chapter 245 with the exceptions of:

1. landscaping or tree preservation
2. open space or park dedication
3. property classification (uses)
4. Lot size
5. Lot dimensions
6. Lot coverage
7. Building size

These items are reviewed per Ordinance 4225-11-2015



Not correct

Ensure parking lot landscaping requirements can be met per Ordinance 4225-11-2015 Page P-7. Does not appear accommodations are made for parking lot trees.

Issue Dates:	Revisions:	Date:
1	1	
2	2	
3	3	
4	4	
5	5	
6	6	

**CROSS ENGINEERING CONSULTANTS**

1720 W. Virginia Street  
972.562.4409  
McKinney, Texas 75069  
Texas P.E. Firm No. F-3935

Drawn By: C.E.C.L. Checked By: C.E.C.L. Scale: 1" = 40'

DEVELOPMENT PLAN 1

Lewisville Corporate Center

Beverly Development Corp.  
Lewisville, Texas

Sheet No.

DP 1

Project No.  
20043

LEWISVILLE CORPORATE CENTER

development plans must show and currently does not show:  
 pedestrian connections  
 water and sewer  
 drainage  
 per Ordinance 4225-11-2015

6 foot sidewalk required along streets per Ordinance 0232-20-ZON

Only BT-1 (Office building) allowed to have parking lot between office building and the street. Page P-15. BT-1 lots need to have landscaping per 6-123(b)(c) which is 10' buffer with 1 tree per 500 SF. Other lots not required to have landscaping, except for parking areas.

Street trees required along all streets at 30-35' on center by Ordinance 4225-11-2015

Setback is 8' from back of curb on internal street  
 Ordinance 0232-20-ZON

incorrect

The eastern driveway will need a deceleration lane per Ch6-103

Surface parking lots require 1 tree per 10 spaces. Ensure adequate landscape islands to meet code. P-7 Ordinance 4225-11-2015

Sidewalk required along all IH-35E Per Section 6-92(h)

Side corner setback needs to match front setback Ord 0232-20-ZON

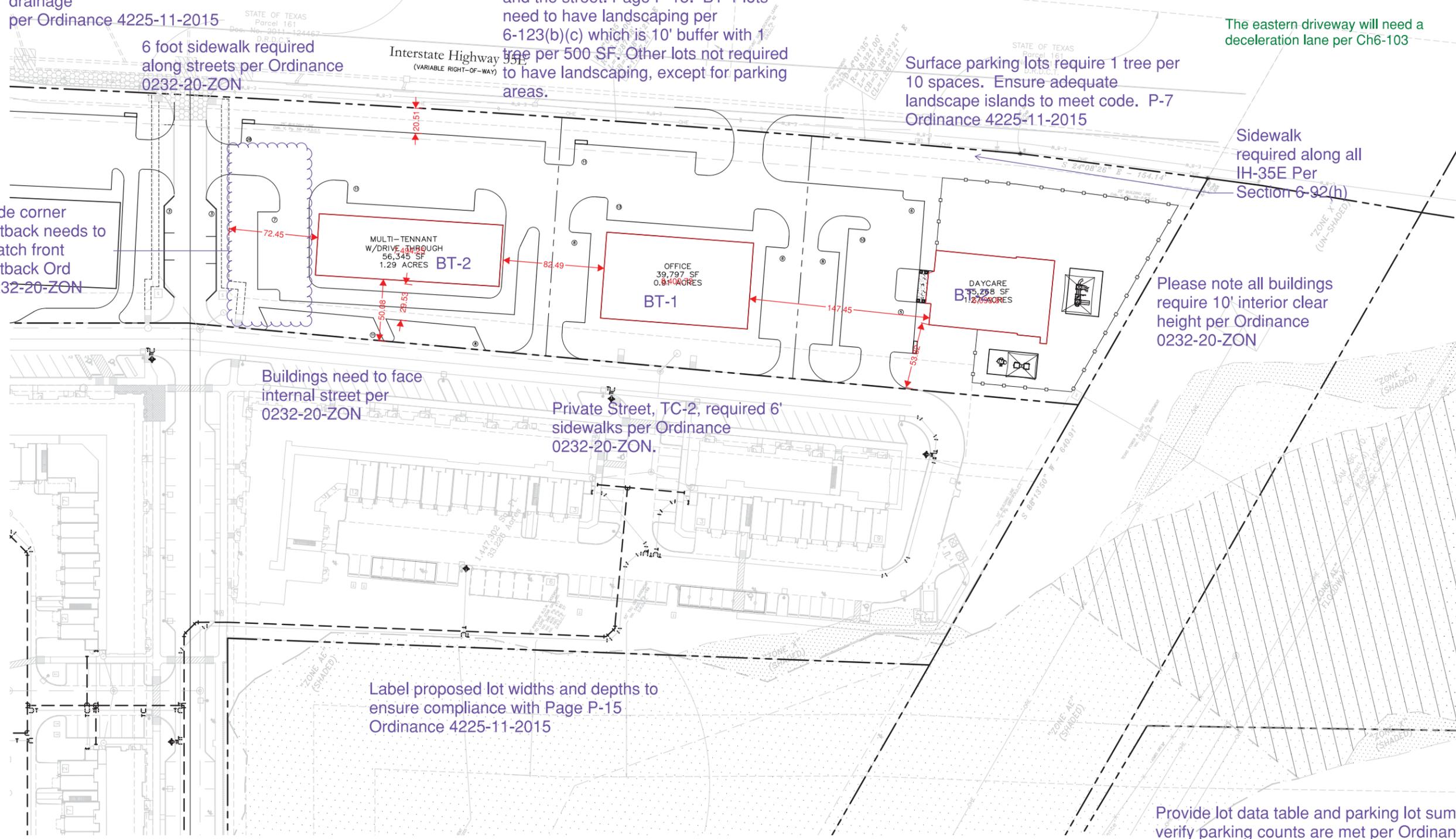
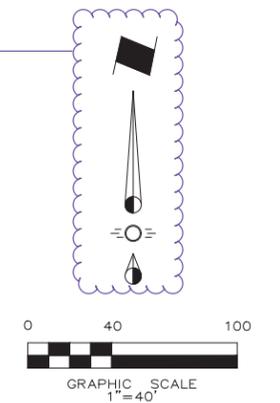
Please note all buildings require 10' interior clear height per Ordinance 0232-20-ZON

Buildings need to face internal street per 0232-20-ZON

Private Street, TC-2, required 6' sidewalks per Ordinance 0232-20-ZON.

Label proposed lot widths and depths to ensure compliance with Page P-15 Ordinance 4225-11-2015

Provide lot data table and parking lot summary to verify parking counts are met per Ordinance 0232-20-ZON Show parking lot stripes on plans.



NOTE: THIS IS NOT A CONSTRUCTION DOCUMENT.  
 THIS DOCUMENT IS FOR CONCEPTUAL PLANNING PURPOSES ONLY.

Issue Dates:	Revisions:	Date:
1	1	
2	2	
3	3	
4	4	
5	5	
6	6	

<b>CROSS ENGINEERING CONSULTANTS</b>		
1720 W. Virginia Street McKinney, Texas 75069 972.562.4409 Texas P.E. Firm No. F-3935		
Drawn By:	Checked By:	Scale:
C.E.C.L.	C.E.C.L.	1" = 40'

<b>DEVELOPMENT PLAN 2</b>	Sheet No. <b>DP2</b>
Lewisville Corporate Center	
Beverly Development Corp.	
Lewisville, Texas	
Project No. 20043	

LEWISVILLE CORPORATE CENTER



# 20-07-4-PP-Development Plan.pdf Markup Summary

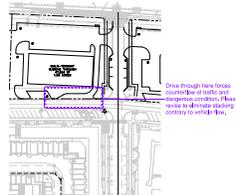
DRussell (1)



**Subject:** Text Box  
**Page Label:** [1] exhibit 1 (2)  
**Author:** DRussell  
**Date:** 7/14/2020 10:57:59 AM  
**Status:**  
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**Space:**

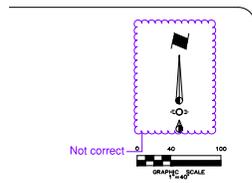
The eastern driveway will need a deceleration lane per Ch6-103

mberry (73)



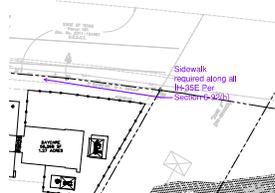
**Subject:** Planning Cloud  
**Page Label:** [1] exhibit 1 (2)  
**Author:** mberry  
**Date:** 7/20/2020 1:44:29 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Drive through here forces counterflow of traffic and dangerous condition. Please revise to eliminate stacking contrary to vehicle flow.



**Subject:** Planning Cloud  
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**Author:** mberry  
**Date:** 7/21/2020 1:17:44 PM  
**Status:**  
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Not correct



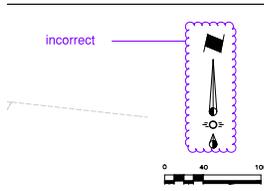
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**Author:** mberry  
**Date:** 7/21/2020 1:22:02 PM  
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Sidewalk required along all IH-35E Per Section 6-92(h)



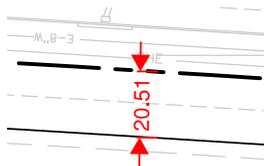
**LEWISVILLE**

Deep Roots. Broad Wings. Bright Future.



**Subject:** Planning Cloud  
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incorrect



**Subject:** Length Measurement  
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**Author:** mberry  
**Date:** 7/21/2020 9:16:54 AM  
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20.51

Landscape screening required for parking along IH-35E and side streets, Ordinance 4225-11-2015 page P-12.

**Subject:** Text Box  
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**Author:** mberry  
**Date:** 7/22/2020 5:13:33 PM  
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Landscape screening required for parking along IH-35E and side streets, Ordinance 4225-11-2015 page P-12.



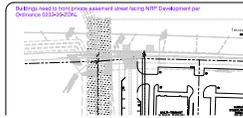
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**Page Label:** [1] exhibit 1 (2)  
**Author:** mberry  
**Date:** 7/24/2020 3:07:19 PM  
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**Space:**

Need building sq ft to confirm compliance. Only see about 47,000 SF. Concept shows larger longer buildings. Minimum based on residential ground floor SF within 350' of highway and is approximately 55,000. Provide ground floor SF for residential v. commercial numbers within 350' of IH-35E ROW per Ordinance 4225-11-2015 page P-3.



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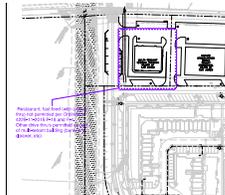
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**Date:** 7/24/2020 3:11:31 PM  
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**Space:**

Buildings need to front private easement street facing NRP Development per Ordinance 0232-20-ZON.



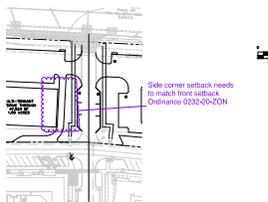
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**Author:** mberry  
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No parking within 20' of ADA crosswalk per MUTCD.



**Subject:** Planning Cloud  
**Page Label:** [1] exhibit 1 (2)  
**Author:** mberry  
**Date:** 7/24/2020 3:15:11 PM  
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**Layer:**  
**Space:**

Restaurant, fast food (with a drive thru) not permitted per Ordinance 4225-11-2015 P-18 and P-4. Other drive thru's permitted as part of multi-tenant building (bank, dry cleaner, etc)



**Subject:** Planning Cloud  
**Page Label:** [1] exhibit 1 (2)  
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Side corner setback needs to match front setback Ordinance 0232-20-ZON



**Subject:** Text Box  
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**Author:** mberry  
**Date:** 7/24/2020 3:17:36 PM  
**Status:**  
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**Layer:**  
**Space:**

Parking lots shall be located in the interior of the block, with building fronting the street between this development and NRP to the west, Ordinance 0232-20-ZON.



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**Subject:** Text Box  
**Page Label:** [1] exhibit 1 (2)  
**Author:** mberry  
**Date:** 7/24/2020 3:18:29 PM  
**Status:**  
**Color:** ■  
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Please note all buildings require 10' interior clear height per Ordinance 0232-20-ZON

DAYCARE  
BT-2  
35,268 SF  
1.27 ACRES

**Subject:** Text Box  
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**Author:** mberry  
**Date:** 7/24/2020 3:19:32 PM  
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BT-2

Setback is 8' from back of curb on internal street Ordinance 0232-20-ZON

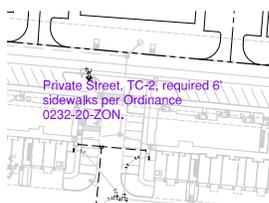
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Setback is 8' from back of curb on internal street Ordinance 0232-20-ZON

Street trees required along all streets at 30-35' on center by Ordinance 4225-11-2015

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**Page Label:** [1] exhibit 1 (2)  
**Author:** mberry  
**Date:** 7/24/2020 3:20:10 PM  
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Street trees required along all streets at 30-35' on center by Ordinance 4225-11-2015



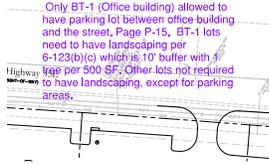
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**Author:** mberry  
**Date:** 7/24/2020 3:20:30 PM  
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**Space:**

Private Street, TC-2, required 6' sidewalks per Ordinance 0232-20-ZON.



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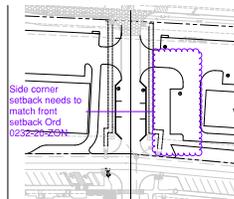
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**Author:** mberry  
**Date:** 7/24/2020 3:20:33 PM  
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**Layer:**  
**Space:**

Only BT-1 (Office building) allowed to have parking lot between office building and the street. Page P-15. BT-1 lots need to have landscaping per 6-123(b)(c) which is 10' buffer with 1 tree per 500 SF. Other lots not required to have landscaping, except for parking areas.



**Subject:** Text Box  
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**Date:** 7/24/2020 3:20:54 PM  
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Buildings need to face internal street per 0232-20-ZON



**Subject:** Planning Cloud  
**Page Label:** [1] exhibit 1 (2)  
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**Date:** 7/24/2020 3:21:12 PM  
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Side corner setback needs to match front setback Ord 0232-20-ZON



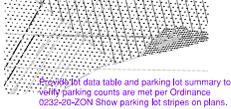
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6 foot sidewalk required along streets per Ordinance 0232-20-ZON



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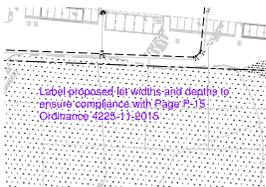


Provide data table and parking lot summary to verify parking counts are met per Ordinance 0232-20-ZON Show parking lot stripes on plans.



**Subject:** Text Box  
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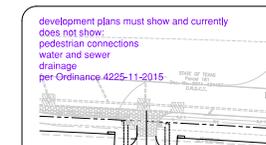
Provide lot data table and parking lot summary to verify parking counts are met per Ordinance 0232-20-ZON Show parking lot stripes on plans.



Label proposed lot widths and depths to ensure compliance with Page P-15 Ordinance 4225-11-2015

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**Date:** 7/24/2020 3:22:16 PM  
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**Space:**

Label proposed lot widths and depths to ensure compliance with Page P-15 Ordinance 4225-11-2015



development plans must show and currently does not show: pedestrian connections water and sewer drainage per Ordinance 4225-11-2015

**Subject:** Text Box  
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**Author:** mberry  
**Date:** 7/24/2020 8:18:07 AM  
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development plans must show and currently does not show: pedestrian connections water and sewer drainage per Ordinance 4225-11-2015



Surface parking lots require 1 tree per 10 spaces. Ensure adequate landscape islands to meet code. P-7 Ordinance 4225-11-2015

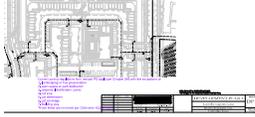
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Surface parking lots require 1 tree per 10 spaces. Ensure adequate landscape islands to meet code. P-7 Ordinance 4225-11-2015



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**Subject:** Text Box  
**Page Label:** [1] exhibit 1 (2)  
**Author:** mberry  
**Date:** 7/24/2020 8:38:01 AM  
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**Color:** ■  
**Layer:**  
**Space:**

Current zoning regulations from revised PD apply per Chapter 245 with the exceptions of:  
1. landscaping or tree preservation  
2. open space or park dedication  
3. property classification (uses)  
4. Lot size  
5. Lot dimensions  
6. Lot coverage  
7. Building size  
These items are reviewed per Ordinance 4225-11-2015



Dumpsters and service areas not shown, will need to be at rear, which is the IH-35E side of the property per Ordinance 0232-20-ZON.

**Subject:** Text Box  
**Page Label:** [1] exhibit 1 (2)  
**Author:** mberry  
**Date:** 7/24/2020 8:42:06 AM  
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**Space:**

Dumpsters and service areas not shown, will need to be at rear, which is the IH-35E side of the property per Ordinance 0232-20-ZON.



Private street, access utility, pedestrian and drainage easement to function as street. Designed as TC-2 with NRP, sidewalks and tree plantings to match NRP and per Ordinance 4225-11-2015 Page P-6 and Ordinance 0232-20-ZON.

**Subject:** Text Box  
**Page Label:** [1] exhibit 1 (2)  
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**Date:** 7/24/2020 8:43:30 AM  
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**Space:**

Private street, access utility, pedestrian and drainage easement to function as street. Designed as TC-2 with NRP, sidewalks and tree plantings to match NRP and per Ordinance 4225-11-2015 Page P-6 and Ordinance 0232-20-ZON.



**LEWISVILLE**

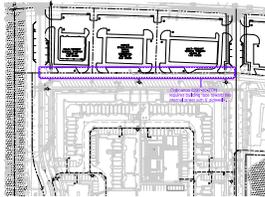
Deep Roots. Broad Wings. Bright Future.

TEXAS  
161  
7/24/20

Need use and parking ratio calculations. parking ratios per Ordinance 0232-20-ZON

**Subject:** Text Box  
**Page Label:** [1] exhibit 1 (2)  
**Author:** mberry  
**Date:** 7/24/2020 8:44:51 AM  
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Need use and parking ratio calculations. parking ratios per Ordinance 0232-20-ZON



**Subject:** Planning Cloud  
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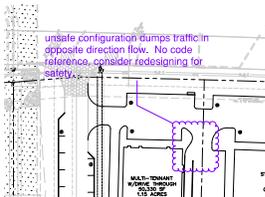
Ordinance 0232-20-ZON requires building face toward this internal street with 6' sidewalk.



Per Ordinance 0232-20-ZON Buildings should 8' back from curb on internal street.

**Subject:** Text Box  
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**Author:** mberry  
**Date:** 7/24/2020 8:46:03 AM  
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**Color:** ■  
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**Space:**

Per Ordinance 0232-20-ZON Buildings should 8' back from curb on internal street.



unsafe configuration dumps traffic in opposite direction flow. No code reference, consider redesigning for safety.

**Subject:** Planning Cloud  
**Page Label:** [1] exhibit 1 (2)  
**Author:** mberry  
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**Layer:**  
**Space:**

unsafe configuration dumps traffic in opposite direction flow. No code reference, consider redesigning for safety.

GRAPHIC SCALE

Ensure parking lot landscaping requirements can be met per Ordinance 4225-11-2015 Page P-7. Does not appear accommodations are made for parking lot trees.

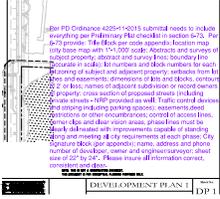
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**Date:** 7/27/2020 4:37:11 PM  
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**Space:**

Ensure parking lot landscaping requirements can be met per Ordinance 4225-11-2015 Page P-7. Does not appear accommodations are made for parking lot trees.



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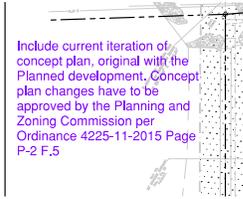
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**Page Label:** [1] exhibit 1 (2)  
**Author:** mberry  
**Date:** 7/27/2020 4:37:30 PM  
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**Space:**

Per PD Ordinance 4225-11-2015 submittal needs to include everything per PD Ordinance 4225-11-2015 submittal needs to include everything per Preliminary Plat checklist in section 6-73. Per 6-73 provide: Title Block per code appendix; location map (city base map with 1"-1,000' scale; Abstracts and surveys of subject property; abstract and survey lines; boundary line (accurate in scale); lot numbers and block numbers for each lot; zoning of subject and adjacent property; setbacks from lot lines and easements; dimensions of lots and blocks, contours of 2' or less; names of adjacent subdivision or record owners of property; cross section of proposed streets (including private streets - NRP provided as well; Traffic control devices and striping including parking spaces); easements, deed restrictions or other encumbrances; control of access lines, corner clips and clear vision areas, phase lines must be clearly delineated with improvements capable of standing along and meeting all city requirements at each phase; City signature block (per appendix); name, address and phone number of developer, owner and engineer/surveyor; sheet size of 22" by 24". Please insure all information correct, consistent and clear.



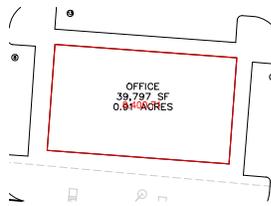
**LEWISVILLE**

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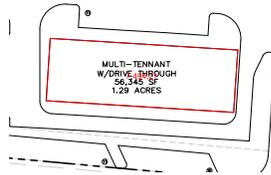
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**Space:**

Include current iteration of concept plan, original with the Planned development. Concept plan changes have to be approved by the Planning and Zoning Commission per Ordinance 4225-11-2015 Page P-2 F.5



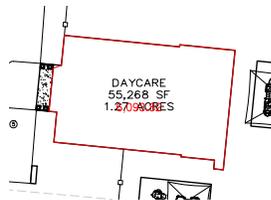
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8,400.72



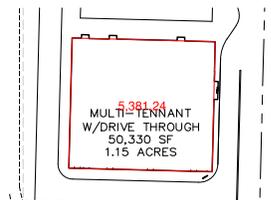
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7,494.25



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**Subject:** Area Measurement  
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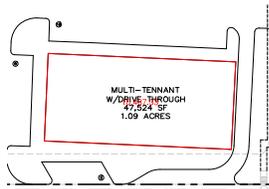
**LEWISVILLE**

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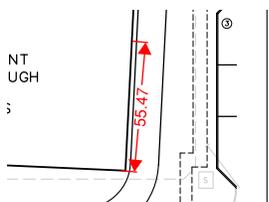
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9,209.23



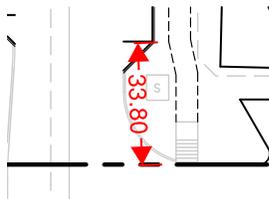
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10,487.31



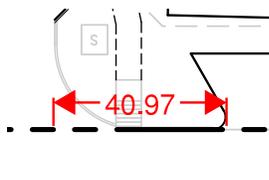
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55.47



**Subject:** Length Measurement  
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33.80



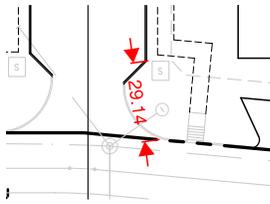
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40.97

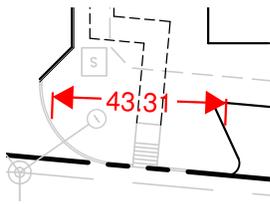


**LEWISVILLE**

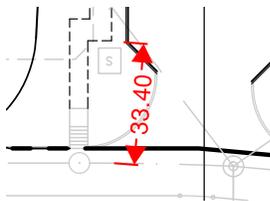
Deep Roots. Broad Wings. Bright Future.



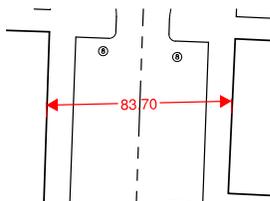
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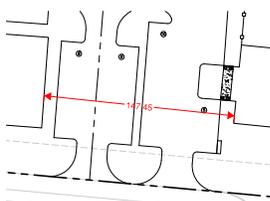
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**Subject:** Length Measurement 33.40  
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**Subject:** Length Measurement 83.70  
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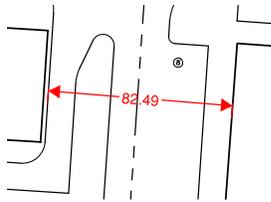


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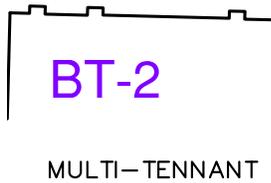


**LEWISVILLE**

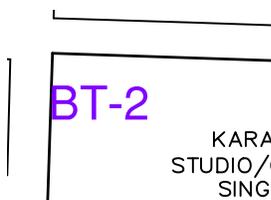
Deep Roots. Broad Wings. Bright Future.



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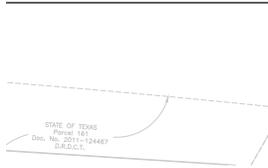


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**LEWISVILLE**

Deep Roots. Broad Wings. Bright Future.



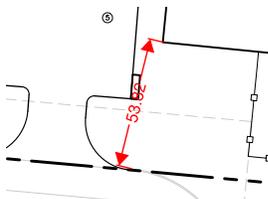
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39,797 SF  
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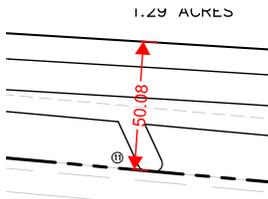
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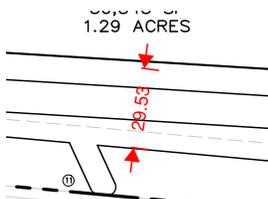
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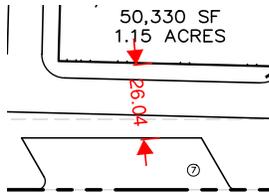


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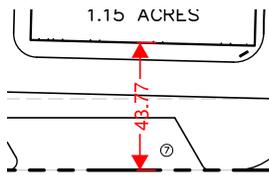


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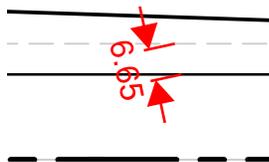
Deep Roots. Broad Wings. Bright Future.



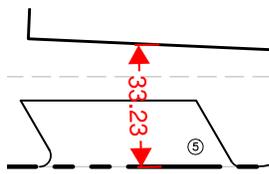
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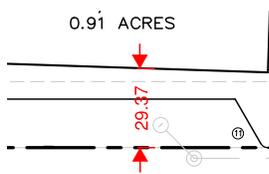
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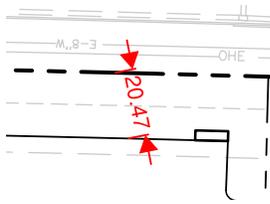


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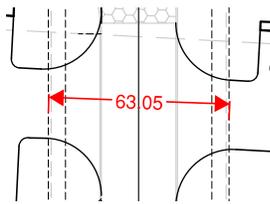


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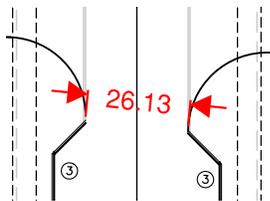
Deep Roots. Broad Wings. Bright Future.



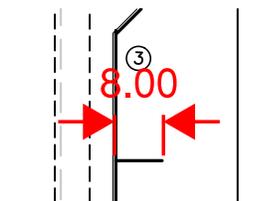
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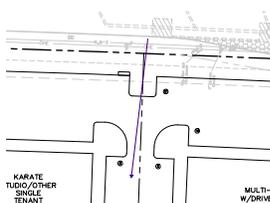
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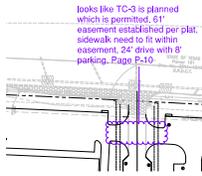


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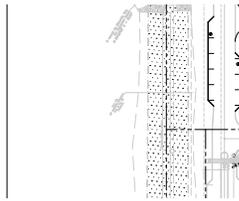
**LEWISVILLE**

Deep Roots. Broad Wings. Bright Future.

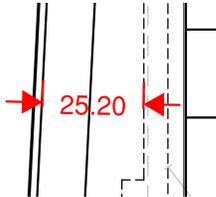


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looks like TC-3 is planned which is permitted. 61' easement established per plat, sidewalk need to fit within easement, 24' drive with 8' parking, Page P-10

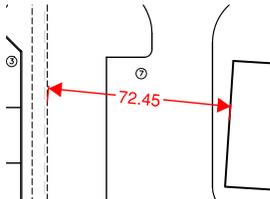


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72.45

## MEMORANDUM

**TO:** Planning and Zoning Commission  
**FROM:** June Sin, Planner  
**DATE:** August 4, 2020  
**SUBJECT:** **Regular Hearing: Final Plat of South Village Addition, Lot 2R2R, Block A; on 0.214 Acres out of the J.W. King Survey, Abstract Number 696; Zoned General Business (GB) District and Old Town Mixed Use Two (OTMU2) District; Located on the West Side of South Mill Street Approximately 300 Feet South of Elm Street, A Portion Being a Replat of Lot 2R2, Block A, South Village Addition.**

### **BACKGROUND:**

On September 16, 2019 City Council approved an amendment to the City's Land Development Regulations regarding plats and replats to conform to new legislative procedures. House Bill 3167 specifies that the Planning and Zoning Commission (P&Z) or the official responsible for the approval of plat, shall approve, approve with conditions, or disapprove a plat application within 30 days after the date the plat was filed with the City. This bill went into effect on September 1, 2019.

### **ANALYSIS:**

House Bill 3167 requires a written list of reasons for disapproval to be provided for plats that are disapproved. Each reason specified in the written statement must be directly related to the requirements of the land development regulations and include a citation to the applicable law, including statute or municipal ordinance, that is the basis for the reason for disapproval.

The final plat of South Village Addition, Lot 2R2R was submitted on July 6, 2020 and has been reviewed by staff. Staff recommends disapproval of the above plat with following reasons based on Chapters 6 and 17 of the Lewisville Code of Ordinances.

#### Zoning Ordinance Section 17-22

1. Proposed mixed use not in compliance with current zoning standard for General Business (GB) Zoning District. Need to rezone to Old Town Mixed Use Two (OTMU2) Zoning District.

#### Section 9.5-71 (f) Final Plat General Development Ordinance (GDO)

- (5) Sheet size needs to be 22"x34"
- (9) Meets and bounds description needs to be updated
- (10) Building setbacks show do not match zoning
- (12) A certification of ownership and adjacent property ownership needs to match DCAD information
- (18) ROW dedication needs to be shown.
- (25) Correct Planning and Zoning Commission approval block to match appendix with new chair

Section 9.5-53 Park and other public use dedication requirement (Old Town Development Code)

Park dedication for residential development shall be in accordance with the city park dedication ordinance. Requirement of fees in lieu of land for park dedication purposes shall be met prior to the approval of the final plat for the project.

**RECOMMENDATION:**

Staff recommends that the Planning and Zoning Commission disapprove the Final Plat of South Village Addition for the deficiencies listed above and delegate to staff the authority to accept and approve the plat once the listed deficiencies are corrected. The approved plat will be brought to the chair for signature.

Remove as not consistent with OTMU2 zoning, Sec 17-22.7

This should be southeast corner Sec 9.5-71 (f)(9)

ROW dedication needs to be shown Sec 9.5-71 (f)(8)

No need to show rear setbacks, remove, Sec. 9.5-71 (f)

DCAD lists Knowles S&S Investment Properties, please update, Sec. 9.5-71 (f)(12)

Ownership here doesn't match signature line or DCAD. Please update 9.5-71 (f).

Rephrase to "...developed subject to the building lines required by the zoning district."

Sheet size must be 22" by 34" for inclusion with ESP Sec. 9.5-71 (f). Can print with border for filing.

revise note to specify park fees:  
Park development fee is \$1,000/unit = \$6,000  
Park dedication fee in lieu is 0.03(acres) x 6(units) x \$152,611 = \$27,469.98

Sec 9.5-71 & 9.5-53

use requires OTMU2 zoning, please submit zone change for Owens tract, Sec 17-22.7

We do further dedicate, subject to the exceptions and reservations set forth hereinafter, to the public use forever, all public use spaces shown on the face of the plat.

All lots in the subdivision shall be sold and developed subject to the building lines shown on the plat.

LEGAL DESCRIPTION  
0.214 Acres  
BEING all that certain lot, tract, or parcel of land, situated in the J. W. King Survey, Abstract Number 696, Denton County, Texas, and being all of Lot 2R2, Block A, South Village, an addition to the City of Lewisville, according to the plat thereof, recorded in Document 2018-12, Plat Records, Denton County, Texas, and being all of that certain tract of land, described in deed to Kenneth Owens, recorded in Document Number 2004-87752, Real Property Records, Denton County, Texas, and being part of that certain tract of land, described in deed to Carl Degan, recorded in Volume 455, Page 618, part of that certain tract of land, described in deed to W. L. Farley, recorded in Volume 451, Page 626, and part of that certain tract of land, described in deed to J. B. Wood, recorded in Volume 451, Page 624, and being part of that certain tract of land, described in deed to Calvin Houston, recorded in Volume 141, Page 83, and being more particularly described as follows:

BEGINNING at a 1/2" capped rebar found stamped "Brittain & Crawford" at the southeast corner of that certain right-of-way dedication as shown on plat of South Village, recorded in Document Number 2016-2036, being on the west line of N. Mill Street (variable width ROW), being on the east line of said Degan tract and being the occupied northeast corner of said Kenneth Owens tract;

THENCE S 00°41'48" E, passing at 8.41 feet the southeast corner of said Degan tract, being the northeast corner of said Calvin Houston tract, continuing with the east line thereof, passing at 54.49 feet a PK Nail found the southeast corner of said Owens tract, and being the northeast corner of said Lot 2R, and being the northeast corner of that certain tract of land, described in deed to J.B. Wood, recorded in Volume 434, Page 623, Deed Records, Denton County, Texas, continuing with the east line thereof, a total distance of 97.81 feet to a 1/2" rebar found at the northeast corner of that certain tract of land, described in deed to WSK Corporation, recorded in Document 2009-118754, same being the northeast corner of that certain tract described in deed to Glenn R. Farley, recorded in Volume 458, Page 179, Deed Records, Denton County, Texas;

THENCE S 89°29'35" W, with the north line of said WSK Corporation Tract, passing at 97.00 feet a PK nail found on the occupied north line thereof, same being the Glenn R. Farley tract, and being the southwest corner of said J.B. Wood tract recorded in 434/623, and being the southeast corner of that certain tract of land, described in deed to J.B. Wood, recorded in Volume 451, Page 624, Deed records, Denton County, Texas, continuing with the south line thereof, a total distance of 189.09 feet to a 60d Nail found in 2003 replaced with a Mag Nail set with Shiner, at the southwest corner thereof, and being on the north line of said Calvin Houston Tract;

THENCE S 64°09'11" W, with the south line of said Degan tract, and the north line of said WSK Corporation tract, and said Calvin Houston Tract, a distance of 15.86 feet to a 1" pipe found in 2003, replaced with a 1/2" capped rebar set stamped "MCADAMS" at the northwest corner thereof, from which a 3/8" rebar found in 2003 at the southwest corner of said WSK Corporation tract bears S 00°39'49" E, 63.26 feet;

THENCE N 00°39'49" W, with the west line of said Degan tract, a distance of 10.40 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE N 88°15'08" E, with the south line of Samuel Street, as shown on plat of South Village, recorded in 2016-2036, continuing with the south line thereof, a distance of 2.70 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE N 89°35'30" E, with the south line of said Samuel Street, passing at 19.34 feet the south line of said Degan Tract, and the north line of said Calvin Houston Tract, continuing a total distance of 59.73 feet to a 1/2" capped rebar set stamped "MCADAMS" at the southwest corner of said Lot 2R2 and being the southerly southeast corner of Lot 2R1, of said South Village, recorded in Document Number 2018-12;

THENCE N 00°25'12" W, with the west line of said Lot 2R2, and the east line of said Lot 2R1, a distance of 20.51 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE N 51°49'15" E, with the south line of said Lot 2R1, and the north line of said Lot 2R2, a distance of 32.03 feet to a 1/2" capped rebar set stamped "MCADAMS" at the northerly northwest corner thereof, and being the occupied westerly corner of said Kenneth Owens tract;

THENCE N 64°20'04" E, with the south line said Lot 2R1, and the occupied north line of said Kenneth Owens tract, a distance of 127.40 feet to the POINT OF BEGINNING and containing approximately 0.214 acres of land.

OWNER'S CERTIFICATE AND DEDICATION  
STATE OF TEXAS :  
COUNTY OF DENTON :

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That Hat Group, LLC, a Texas Limited Liability Company, CADG Mill St LLC, & Ann D. Owens, the undersigned authority, do hereby dedicate this plat designating the herein above described property as SOUTH VILLAGE ADDITION an addition to the City of Lewisville, Denton County, Texas, and does hereby dedicate to the public use forever the streets and alleys shown hereon; and does hereby dedicate the easement strips shown on the plat for mutual use and accommodation of the City of Lewisville and all public utilities desiring to use, or using same. No buildings, fences, trees, shrubs, signs, or other improvements shall be constructed or placed upon, over, or across the easement strips on said plat. The City of Lewisville and any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, signs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on any of these easement strips, and the City of Lewisville and any public utility shall at all times have the right of ingress and egress to and from and upon any of said easement strips for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or part of its respective system without the necessity at any time of procuring the permission of anyone. a blanket easement of a five (5) foot radius from the center point of all fire hydrants and a five (5) foot radius from the center point of all other appurtenances (fire hydrant valves, water meters, meter boxes, street lights) is hereby granted to the City of Lewisville for the purpose of constructing, reconstructing, inspecting and maintaining the above named appurtenances.

We do further dedicate, subject to the exceptions and reservations set forth hereinafter, to the public use forever, all public use spaces shown on the face of the plat.

All lots in the subdivision shall be sold and developed subject to the building lines shown on the plat.

WITNESS OUR HAND this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

ITI GROUP CORP.

Henry Rahmani, Managing Officer

STATE OF TEXAS :  
COUNTY OF DENTON :

BEFORE ME, THE UNDERSIGNED AUTHORITY, personally appeared Henry Rahmani, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged that he executed the same for the purpose and consideration therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

Notary Public State of Texas

My commission expires the \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

All variances, if any, from General Development Ordinance approved by City Council.

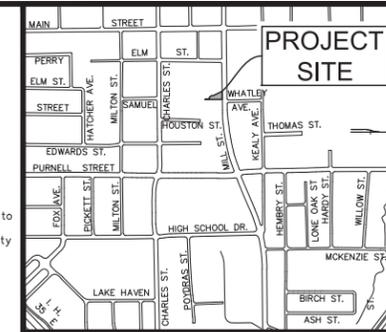
James Davis, Chairman  
Planning and Zoning Commission  
City of Lewisville, TX

Date

THE UNDERSIGNED, the City Secretary of the City of Lewisville, Texas, hereby certifies that the foregoing plat of South Village Addition, an addition to the City of Lewisville, Texas, was submitted to the appropriate Planning and Zoning Commission or City Council as required by the ordinances of the City of Lewisville on the \_\_\_\_\_ day of \_\_\_\_\_, 2020, and such body by formal action accepted the dedication of streets, alleys, parks, easements, public spaces and water and sewer lines, as shown and set forth in and upon said plat, and such body further authorized the acceptance thereof by signing as herein above subscribed in the capacity stated.

WITNESS MY HAND, this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

Julie Worster  
City Secretary  
City of Lewisville, TX



VICINITY MAP SCALE: 1"=1000'

**LEGEND**

- P.O.B. = POINT OF BEGINNING
- RF = REBAR FOUND
- CRS = CAPPED REBAR SET
- CRF = CAPPED REBAR FOUND
- PRDCT = PLAT RECORDS, DENTON COUNTY, TEXAS
- RRDCT = REAL PROPERTY RECORDS DENTON COUNTY, TEXAS
- FYSB = FRONT YARD SET BACK
- RYSB = REAR YARD SET BACK
- UE = UTILITY EASEMENT
- D.S.S.A.E. = DRAINAGE, SANITARY SEWER, ACCESS EASEMENT

We will be choosing our new chair at the 8/4 zoning meeting, Sec. 9.5-71 (f)

**FINAL PLAT**  
**SOUTH VILLAGE ADDITION**  
**Lot 2R2R, Block A**  
**0.214 Acres**

**ZONED: GB-GENERAL BUSINESS & OTMU2-OLD TOWN MIXED USE 2**

BEING A REPLAT OF  
SOUTH VILLAGE ADDITION, LOT 2R2, BLOCK A,  
RECORDED IN DOC. NO. 2018-12, P.R.D.C.T.  
in the  
J. W. KING SURVEY, ABSTRACT NO. 696  
CITY OF LEWISVILLE  
DENTON COUNTY, TEXAS



DRAWN BY: BC DATE: 1/17/2020 SCALE: 1"=20' JOB. No. SPEC-20000

**DEVELOPER**  
HAT GROUP, L.L.C.  
1800 VALLEY VIEW LANE, SUITE 300  
FARMERS BRANCH, TEXAS 76834  
Ph. 972-633-6363  
Contact: HENRY RAHMANI

Need to rezone to OTMU2 to permit use. Sec 17-22.7

FILED \_\_\_\_\_ DOC # \_\_\_\_\_ P.R.D.C.T.

- NOTES:
- Bearings based on Texas Coordinate System, North Central Zone (4202), NAD '83.
  - Original copies of survey maps and descriptions prepared by the surveyor and firm whose names appear hereon will contain an embossed surveyor's seal. Any map or description copy without that embossed seal is likely a copy not prepared in the office of the surveyor and may contain alterations or deletions made without the knowledge or oversight of the surveyor.
  - Declaration is made to original purchaser of the survey. It is not transferable to additional institutions or subsequent owners. McAdams, and the Surveyor shall not be liable for any unauthorized use hereof.
  - According to Community/Panel No. 48121C0565 G, effective April 18, 2011 of the FLOOD INSURANCE RATE MAP for Denton County, Texas & Incorporated Areas, by graphic plotting only, this property appears to be within Flood Zone "X" (areas of minimal flooding); this property statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes.  
This flood statement shall not create liability on the part of the surveyor.
  - Park fees to be paid at time of Final plat approval.
  - Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate abstract of title may disclose.
  - Site to include approximately 5,000 sq. ft. of commercial, with 6 residential condos on the second and third floors.



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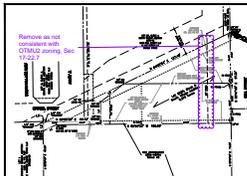
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mberry (12)



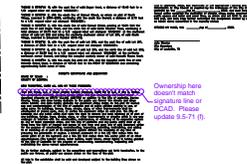
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Rephrase to  
 "..developed subject to  
 the building lines  
 required by the zoning  
 district ."



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Remove as not  
 consistent with OTMU2  
 zoning, Sec 17-22.7



**Subject:** Planning Cloud  
**Page Label:** [1] 22X34 Final Plat LSV  
**Author:** mberry  
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Ownership here  
 doesn't match  
 signature line or  
 DCAD. Please update  
 9.5-71 (f).

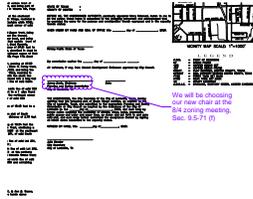


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Sheet size must be 22"  
 by 34" for inclusion  
 with ESP Sec. 9.5-71  
 (f). Can print with  
 border for filing.

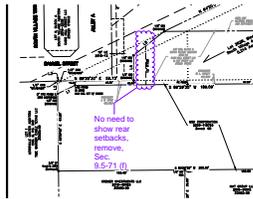


**LEWISVILLE**  
Deep Roots. Broad Wings. Bright Future.



**Subject:** Planning Cloud  
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**Author:** mberry  
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We will be choosing our new chair at the 8/4 zoning meeting, Sec. 9.5-71 (f)



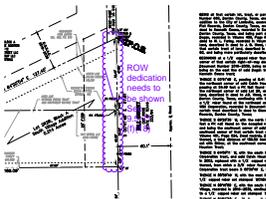
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No need to show rear setbacks, remove, Sec. 9.5-71 (f)



**Subject:** Planning Cloud  
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**Space:**

This should be southeast corner Sec 9.5-71 (f)(9).



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ROW dedication needs to be shown Sec. 9.5-71 (f)(18)



**Subject:** Planning Cloud  
**Page Label:** [1] 22X34 Final Plat LSV  
**Author:** mberry  
**Date:** 7/24/2020 11:45:07 AM  
**Status:**  
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**Space:**

DCAD lists Knowles S&S Investment Properties, please update, Sec. 9.5-71 (f)(12)



**LEWISVILLE**

Deep Roots. Broad Wings. Bright Future.



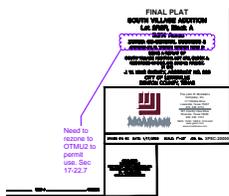
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use requires OTMU2 zoning, please submit zone change for Owens tract, Sec 17-22.7



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**Space:**

revise note to specify park fees:  
Park development fee is \$1,000/unit = \$6,000  
Park dedication fee in lieu is 0.03(acres) x 6(units) x \$152,611 = \$27,469.98  
Sec 9.5-71 & 9.5-53



**Subject:** Planning Cloud  
**Page Label:** [1] 22X34 Final Plat LSV  
**Author:** mberry  
**Date:** 7/24/2020 3:00:53 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Need to rezone to OTMU2 to permit use. Sec 17-22.7

## MEMORANDUM

**TO:** Planning and Zoning Commission  
**FROM:** Jon Beckham, Senior Planner  
**DATE:** August 4, 2020  
**SUBJECT:** **Final Plat of Castle Hills Golf Villas Phase III Addition, with Five Variances, Containing 15 Residential Lots and 4 Open Space Lots; on 2.171 Acres, Out of the P.R. Splane Survey, Abstract No. 1212, and J.T. Dooley Survey, Abstract No. 343; With Townhouse Two Zoning Designation (TH-2) and Estate Townhouse Zoning Designation (ETH); Located at the Southeast Corner of Lady of the Lake Boulevard and Sir Lovel Lane.**

### BACKGROUND:

On September 16, 2019 City Council approved an amendment to the City's Land Development Regulations regarding plats and replats to conform to new legislative procedures. House Bill 3167 specifies that the Planning and Zoning Commission (P&Z) or the official responsible for the approval of plat, shall approve, approve with conditions, or disapprove a plat application within 30 days after the date the plat was filed with the City. This bill went into effect on September 1, 2019.

### ANALYSIS:

House Bill 3167 requires a written list of reasons for disapproval to be provided for plats that are disapproved. Each reason specified in the written statement must be directly related to the requirements of the land development regulations and include a citation to the applicable law, including statute or municipal ordinance, that is the basis for the reason for disapproval.

The final plat of Castle Hills Golf Villas Phase III addition was submitted on July 6, 2020 and has been reviewed by staff. Variances will be required and need to be requested. Staff recommends disapproval of the above plat for following reasons based on Chapters 6 & 17 of the Lewisville Code of Ordinances, Zoning Ordinance and 1996 Castle Hills Development Agreement.

#### Section II (1996 Castle Hills Development Agreement)

11. Provide variance request in writing and fully state the grounds for the application and associated fee to schedule for hearings.

#### Section IV (1996 Castle Hills Development Agreement)

- (1) Title block shall match Appendix I
- (10) Label all setbacks
- (11) Zoning designation needs to be updated
- (24) Certification of ownership match what is found in the Chapter 6 appendix
- (25) City Signature block match what is found in the Chapter 6 appendix

#### Section V (1996 Castle Hills Development Agreement)

- 2.(B) Corner Clip needs to be provided and compliance
- 2.(B) ROW shall be 50 feet per Table 7
- 2.(K) Alleys required
- 4. Lots shall front a public street
- 5. Drainage easement to be maintained by HOA along with open space lots. HOA maintenance agreement required
- 7.(C) Utility Line must be locate din public Rights-of-Way

Exhibit B (1996 Castle Hills Development Agreement)

TH-2 district not included and was not in ordinance in 1996. A variance is required for this zoning designation.

Texas Local Government Code Chapter 212

In addition, for approval the variances will require a variance application. A public hearing for plat approval per Texas Local Government Code Chapter 212 as the previous plat had a Zoning designation of R-12 for Single Family uses. Notification of adjacent property owners is required to be mailed and published 15 days prior to the hearing.

Five variances have been identified as being required with this plat. All were previously approved and either will be brought back at a public hearing for approval or must be removed to bring the plat into compliance.

- a) Allow 34-foot street right of ways with 10-foot sidewalk and utility easements
- b) Allow a zoning designation of Townhouse 2 (TH-2)
- c) Waive the alley requirement
- d) Allow for private streets and a gated community that the H.O.A. will maintain
- e) Allow public utilities in an easement under private paving

The applicant may resubmit a request for variances and a revised preliminary plat reflecting discrepancies cited by Staff comments. Staff shall then determine within 15 days if the revised application and response adequately addresses each reason for the disapproval.

**RECOMMENDATION:**

Staff recommends that the Planning and Zoning Commission disapprove the Final Plat of Castle Hills Gold Villas Phase III Addition for the deficiencies listed above and review again with the required variance request.

# FINAL PLAT AND CONSTRUCTION PLANS FOR

# CASTLE HILLS - GOLF VILLAS PHASE IV

## SINGLE FAMILY DEVELOPMENT

1.959 ACRES  
 15 TOTAL TOWNHOUSE LOTS (TH-2)  
 4 COMMON AREA LOTS (TH-2)  
 CITY OF LEWISVILLE E.T.J., TX

DATE: 07/06/2020

Match the Title  
 Block found in  
 Appendix 1 of the  
 1996 GDO

### SHEET INDEX

SHEET NUMBER	SHEET TITLE
C0-0	COVER
-	FINAL PLAT
C1-0	GENERAL NOTES
C1-1	DEMOLITION PLAN
C2-0	PAVING PLAN
C3-0	SITE GRADING PLAN
-	CASTLE HILLS PHASE IV - SECTION A DRAINAGE AREA MAP (FOR REFERENCE ONLY)
C4-1	DRAINAGE AREA MAP
C4-2	STORM PLAN & PROFILE
C5-0	UTILITY PLAN
C5-1	SANITARY SEWER PROFILES
C5-2	WATER LINE PROFILES
C6-0	EROSION CONTROL PLAN
C6-1	EROSION CONTROL DETAILS
C7-0 - C7-4	STANDARD CONSTRUCTION DETAILS

### VICINITY MAP



SCALE: 1"=1000'  
 0 500' 1000' 2000'

### PROJECT TEAM

**OWNER/DEVELOPER**  
 BRIGHT REALTY, LLC.  
 4400 STATE HIGHWAY 121, SUITE 900  
 LEWISVILLE, TX 75056  
 972.410.6600

**CIVIL ENGINEER**  
 LANDESIGN  
 5301 ALPHA ROAD, SUITE 24  
 DALLAS, TX 75240  
 214.785.6009

**SURVEYOR**  
 SPRY SURVEYORS  
 8241 MID-CITIES BOULEVARD,  
 SUITE 100  
 NORTH RICHLAND HILLS, TX 76182  
 817.494.6359

DCFWS D I-A APPROVED FOR CONSTRUCTION

	DATE	SIGNATURE
PUBLIC WORKS		
DISTRICT ENGINEER		
BUILDING SERVICES		

CITY OF LEWISVILLE VARIANCES APPROVED:

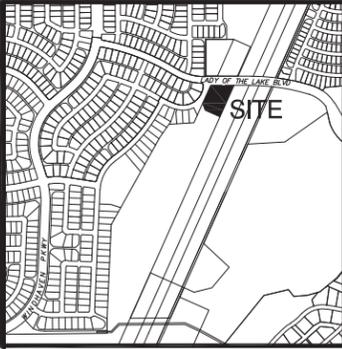
PER AGREEMENT BETWEEN THE CITY OF LEWISVILLE AND CASTLE HILLS DATED APRIL 1, 1996

VARIANCES APPROVED BY CITY COUNCIL ON \_\_\_\_\_, 20\_\_

- A. TO ALLOW A 34 FT. STREET RIGHT OF WAY WITH 31 FT. BACK TO BACK PAVEMENT WIDTH AND 10.0 FT SIDEWALK AND UTILITY EASEMENT IN LIEU OF THE REQUIRED 50 FT RIGHT OF WAY.
- B. TO ALLOW BLOCKS F AND G TO HAVE A ZONING DESIGNATION OF TOWNHOUSE 2 (TH-2)
- C. TO WAIVE THE ALLEY REQUIREMENT FOR LOTS LESS THAN 10,000 SQ. FT. IN AREA.

The variances will need to go back to  
 Council

Please provide a variance letter and variance exhibit  
 with the next submittal



VICINITY MAP  
1"=1000'



Graphic Scale in Feet  
SCALE: 1"=30'

- ABBREVIATIONS**
- D.R.D.C.T. DEED RECORDS OF DENTON COUNTY, TEXAS
  - P.R.D.C.T. PLAT RECORDS OF DENTON COUNTY, TEXAS
  - VOL. VOLUME
  - PG. PAGE
  - DOC. NO. DOCUMENT NUMBER
  - P.O.B. POINT OF BEGINNING
  - C.M. CONTROLLING MONUMENT
  - IRF IRON ROD FOUND
  - IRS IRON ROD SET
  - R.O.W. RIGHT-OF-WAY
  - SQ. FT. SQUARE FOOT
  - B.L. BUILDING LINE
  - U.E. UTILITY EASEMENT
  - D.E. DRAINAGE EASEMENT
  - A.E. ACCESS EASEMENT
  - W.E. WATER EASEMENT
  - S.D.&U.E. SIDEWALK, DRAINAGE & UTILITY EASEMENT
  - S.S.&U.E. STREET, SIDEWALK & UTILITY EASEMENT
  - D.C.F.W.S.D. DENTON COUNTY FRESH WATER SUPPLY DISTRICT

- LEGEND**
- PERIMETER BOUNDARY CORNER
  - LOT CORNER
  - R.O.W. CENTERLINE

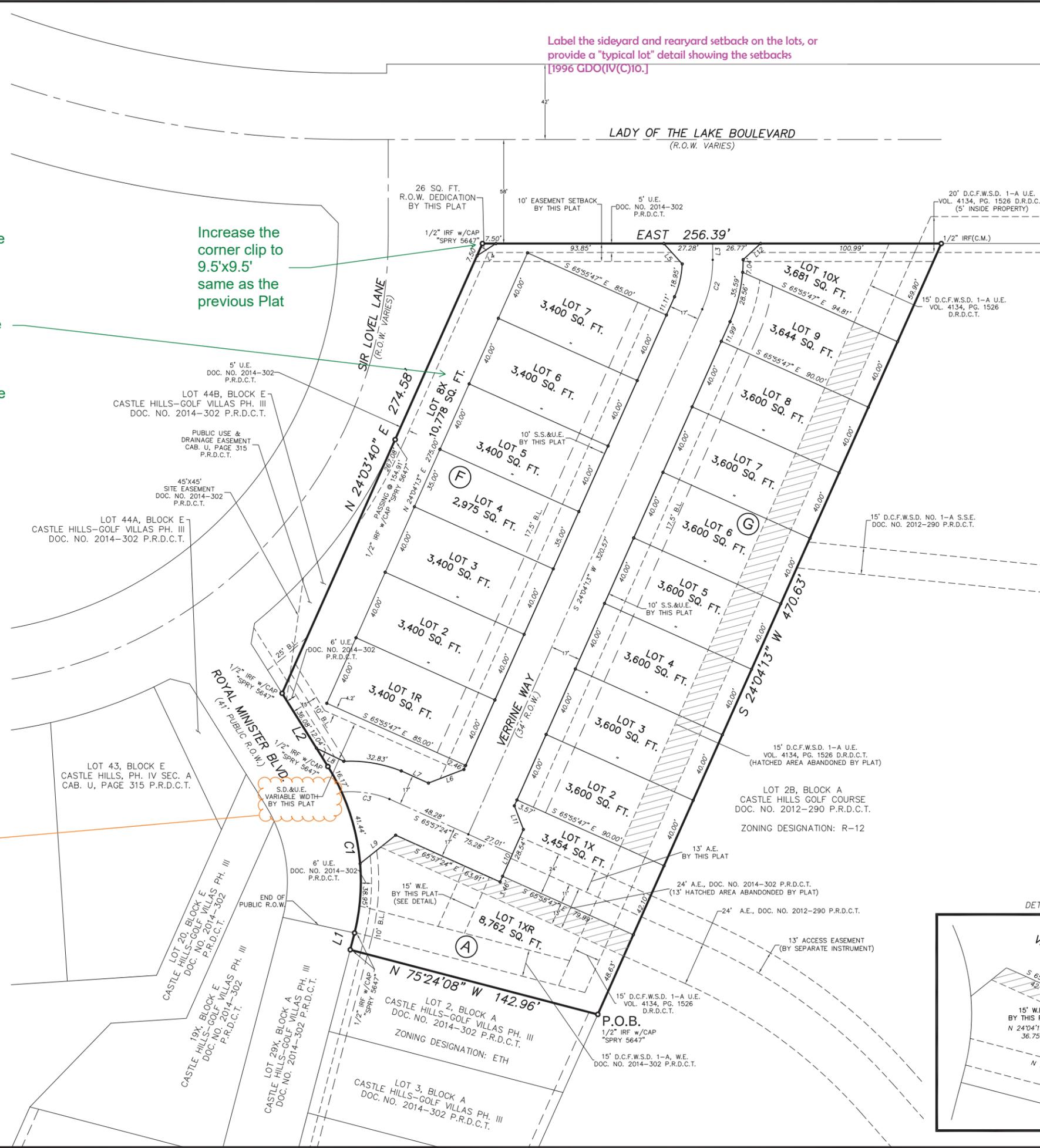
Label the sideyard and rearward setback on the lots, or provide a "typical lot" detail showing the setbacks [1996 GDO(IV)(C)10.]

Include the note from the last Plat that this is a private drainage easement to be maintained by the HOA. Also label as a private drainage easement

Increase the corner clip to 9.5'x9.5' same as the previous Plat

Easement needs to include sidewalk.

Include a note that the HOA will maintain the x lots.



LOT SUMMARY TABLE		
LOT NUMBER	BLOCK	SQ.FT.
1XR	A	8,762
1R	F	3,400
2	F	3,400
3	F	3,400
4	F	2,975
5	F	3,400
6	F	3,400
7	F	3,400
8X	F	10,778
1X	G	3,454
2	G	3,600
3	G	3,600
4	G	3,600
5	G	3,600
6	G	3,600
7	G	3,600
8	G	3,600
9	G	3,644
10X	G	3,681

PLAN SUMMARY TABLE	
ZONING DESIGNATION	BLOCK A - ETH/BLOCK F & G - TH2
TOTAL ACREAGE	2.171 ACRES
R.O.W. DEDICATION	0.360 ACRES
NET ACREAGE	1.811 ACRES
NUMBER OF LOTS	19
NUMBER OF PHASES	1 PHASE
MIN. DWELLING SIZE	1,200 SQ.FT.
FRONT SETBACK	17.5' / 20'(GARAGE)
SIDE SETBACK	6.5'
REAR SETBACK	5'
MIN. LOT SIZE	2,550 SQ.FT.
DENSITY PER ACRE	6.909 UNITS/ACRE

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	120.50'	96.57'	94.00'	N 09°08'04" W	45°55'00"
C2	67.00'	28.37'	28.15'	S 11°56'30" W	24°15'26"
C3	59.41'	27.26'	27.02'	N 81°40'17" W	26°17'30"

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 14°37'05" E	9.69'
L2	N 32°05'34" W	48.13'
L3	S 00°11'13" E	9.08'
L4	N 57°01'50" E	12.58'
L5	S 42°08'27" E	15.31'
L6	S 69°03'25" W	21.22'
L7	N 65°57'24" W	16.64'
L8	N 64°20'37" W	16.91'
L9	N 51°23'31" E	25.40'
L10	N 24°02'36" E	32.00'
L11	N 20°56'35" W	14.14'
L12	N 47°16'36" E	13.26'

- OWNER/DEVELOPER** CHGC, LLC  
4400 State Highway 121  
Suite 900  
Lewisville, TX 75056  
Contact: Eric Stanley  
Phone: 972-410-6600  
Fax: 972-410-6601
- ENGINEER** LandDesign, Inc.  
5301 Alpha Road, Suite 24  
Dallas, Texas 75240  
Contact: Brian Dench  
214-785-6009
- SURVEYOR** Spry Surveyors  
8241 Mid-Cities Boulevard, Suite 100  
North Richland Hills, TX 76182  
Contact: David Lewis  
Phone: 817-494-6359
- DISTRICT** Denton County Fresh Water District No. 1-C  
2540 King Arthur Blvd., Suite 220  
Lewisville, TX 75056  
Contact: Phil Brosseau  
Phone: 972-899-4000

The previous plat only used TH-2 zoning. Is there a reason you are using ETH here as well?

Please only use one zoning designation for this plat.

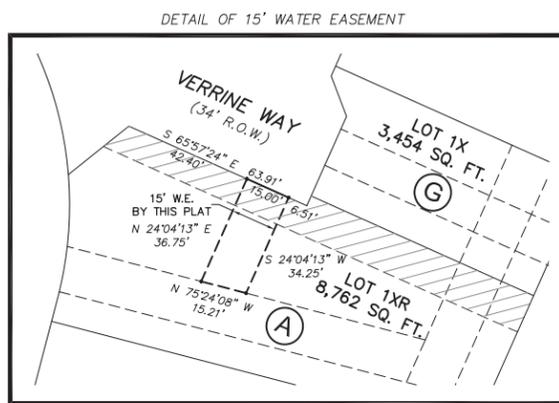
This document shall not be recorded for any purpose. This drawing shall be used for **REVIEW PURPOSES ONLY**  
David Carlton Lewis  
R.P.L.S. No. 5647  
Date: July 6, 2020

**FINAL PLAT**  
**CASTLE HILLS - GOLF VILLAS PHASE III**  
2.171 TOTAL ACRES  
19 TOTAL LOTS

15 RESIDENTIAL LOTS  
LOTS 1R, 2-7, BLOCK F  
LOTS 2-9, BLOCK G  
ZONING DESIGNATION - TH-2

4 COMMON AREA LOTS  
LOT 1XR, BLOCK A  
ZONING DESIGNATION - ETH  
LOT 8X, BLOCK F  
LOTS 1X AND 10X, BLOCK G  
ZONING DESIGNATION - TH-2

BEING A REPLAT OF LOT 1X, BLOCK A, AND LOT 1, BLOCK F, CASTLE HILLS-GOLF VILLAS PHASE III, DOCUMENT NUMBER 2014-302 P.R.D.C.T. IN THE P. R. SPLANE SURVEY, A-1212 & THE J. T. DOOLEY SURVEY, A-343 CITY OF LEWISVILLE ETJ DENTON COUNTY, TEXAS  
JULY 2020



BOUNDARY DESCRIPTION

WHEREAS, BRECO Lands CH, LLC, is the owner of all that certain 2.171 acres of land, which is all of Lot 1, Block F, and Lot 1X, Block A, Castle Hills - Golf Villas Phase III recorded in Document Number 2014-302 in the Plat Records of Denton County, Texas (P.R.D.C.T.) in the P. R. Splone Survey, A-1212, and the J. T. Dooley Survey, A-343, ETJ of Lewisville, Denton County, Texas and more particularly described by the metes and bounds as follows: (all bearings shown hereon are based on said Castle Hills - Golf Villas Phase III plat)

BEGINNING at a 1/2" iron rod with a cap stamped "SPRY 5647" found for the southeast corner of the herein described tract, common to northeast corner of Lot 2, of said Block A, Castle Hills - Golf Villas Phase III, in the west line of Lot 2B, Block A, Castle Hills Golf Course recorded in Document Number 2012-290 P.R.D.C.T.;

THENCE North 75° 24' 08" West - 142.96' to a 1/2" iron rod with a cap stamped "SPRY 5647" found for the most southerly southwest corner of the herein described tract, common to the northwest corner of said Lot 2, Block A, Castle Hills - Golf Villas Phase III, and in the east line of Lot 29X, of said Block A, Castle Hills - Golf Villas Phase III,

THENCE North 14° 37' 05" East - 9.69' to a 1/2" iron rod with a cap stamped "SPRY 5647" found for a point for corner of the herein described tract, common to the northeast corner of said Lot 29X, Block A, Castle Hills - Golf Villas Phase III, in the east right-of-way line of Royal Minister Boulevard (41' R.O.W.), which is a point on a curve to the left, having a central angle of 45° 55' 00"; a radius of 120.50', and a chord bearing and distance of North 09° 08' 04" West - 94.00';

THENCE along said curve to the left, along said Royal Minister Boulevard, an arc distance of 96.57', to a 1/2" iron rod with a cap stamped "SPRY 5647" found for the end of curve;

THENCE North 32° 05' 34" West - 48.13' continuing along the east right-of-way line of said Royal Minister Boulevard, to a 1/2" iron rod with a cap stamped "SPRY 5647" found for the most westerly southwest corner of the herein described tract, common to the south corner of Lot 44B, Block E, of said Castle Hills - Golf Villas Phase III;

THENCE North 24° 03' 40" East passing at a distance pf 154.91' a 1/2" iron rod with a cap stamped "SPRY 5647" found for the north corner of sad Lot 44B, Block E, Castle Hills Golf Villas Phase III, in the east right-of-way line of Sir Lovel Lane (56' R.O.W. Varies), and continuing for a total distance of 274.58', to a 1/2" iron rod with a cap stamped "SPRY 5647" found for the northwest corner of the herein described tract, at the southeast intersection corner of said Sir Lovel Lane, and Lady of the Lake Boulevard (R.O.W. Varies);

THENCE East - 256.39' along the south right-of-way line of said Lady of the Lake Boulevard, to a 1/2" iron rod with a cap stamped "SPRY 5647" found for the northeast corner of the herein described tract, common to the northwest corner of said Lot 2B, Block A, Castle Hills Golf Course;

THENCE South 24° 04' 13" West - 470.63' along the west line of said Lot 2B, Block A, Castle Hills Golf Course, to the POINT OF BEGINNING and containing 2.171 acres of land.

OWNER'S CERTIFICATE OF DEDICATION

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That CHCC, LLC, the undersigned authority, do hereby adopt this final plat designating the herein above described property as LOT 1XR, BLOCK A, LOTS 1R, 2-7, and 8X, BLOCK F, and LOTS 1X, 2-9, and 10X, BLOCK G, CASTLE HILLS - GOLF VILLAS PHASE III, an addition to the extra-territorial jurisdiction of the City of Lewisville, Denton County, Texas, and does here by dedicate to the public use forever the streets and alleys shown hereon; and does here by dedicate the easement strips shown on the plat for mutual use and accommodation of the City of Lewisville and it's ETJ and all public utilities desiring to use or using same. No buildings, fences, trees, shrubs, signs or other improvements shall be constructed or placed upon, over or across the easement strips on said plat. The City of Lewisville and any public utility to which an easement has been dedicated shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, signs or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on any of these easement strips, and the City of Lewisville and any public utility to which an easement has been dedicated shall at all-time have the right of ingress and egress to and from and upon any of said easement strips for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or part of its respective system without the necessity at any time of procuring the permission of anyone. A blanket easement of a five (5) foot radius from the center of all fire hydrants and a five (5) foot radius from the center of all other appurtenances (fire hydrant valves, water meters, meter boxes, street lights) is hereby granted to the City of Lewisville for the purpose of constructing, reconstructing, inspecting and maintaining the above named appurtenances.

We do further dedicate, subject to the exceptions set forth hereinafter, to the public use forever, all public use spaces shown on the face of the plat.

OWNER: CHCC, LLC a Texas limited liability company

Match the Owner's Certificate of Dedication used in the 1996 GDO Appendix 1

DCAD shows BRECO LANDS CH LLC as the owner. Please change the owner or provide a deed showing "CHCC, LLC" as the owenr.

By: CHRISTOPHER R. BRIGHT CHIEF EXECUTIVE OFFICER

STATE OF TEXAS COUNTY OF

BEFORE ME, the undersigned authority, a notary public for the State of Texas, on this day appeared whose name is subscribed to the foregoing instrument and acknowledged executing the foregoing Owner's Certificate of Dedication.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on 2020

Expiration Date: Signed NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

VARIANCES FROM THE LEWISVILLE GENERAL DEVELOPMENT ORDINANCE DATED JANUARY 22, 1994

III. PLAN SUBMITTAL AND APPROVAL PROCEDURES:

For the Bright Ranch Development, the following public park criteria will be acceptable:

- (a) Parks that exceed the minimum Lewisville park landscape and site development standards.
(b) Parks located in the 100 year flood plain.
(c) Parks that contain lakes, creeks or water drainage courses that may not conform to City engineering standards, but are improved to resist erosion.
(d) Parks that are less than one acre.
(e) Parks having unusual topography or slopes.

V. PUBLIC IMPROVEMENTS:

1. CONSTRUCTION STANDARDS:

Until the "Bright Ranch" property is annexed into the City of Lewisville, construction permits will not be required and construction inspection fees will not be imposed on streets, utilities, buildings or other improvements on the "Bright Ranch" property. However, such improvements will be built to City of Lewisville Construction Standards or better. Construction standards conformance will be documented by a mutually acceptable independent qualified agency or contractor.

2. PAVING: The following changes shall be made for the "Bright Ranch" property.

(A) Streets - Streets may intersect at less than 90 degrees if adequate sight lines are provided at the intersection as specified in the 1973 AASHTO red book.

1. Laydown curb will be used on all streets and alleys.

(B) Sidewalks - Sidewalks will not be required on both sides of the street if one side of the street is a park or greenbelt.

(C) Driveways
1. Allow driveways to access onto residential streets, residential 2 lane collector streets and residential 4 lane divided streets.
2. Allow minimum driveway width of 9 feet 6 inches.
3. Allow the radius or flair point at the street or alley of any single family driveway to extend beyond the property line.

(D) Alleys
1. No alleys need to be provided.
2. Laydown curb will be used on all streets and alleys.

3. LOTS: Side lines of lots shall not be required to be at right angles to straight street lines and radial to curved street lines.

Single Family and duplex lots are allowed to adjoin a private street if the private street is within a controlled access residential subdivision.

4. EASEMENTS:

(A) General Provisions - Allow a 15' easement on one side of a water course, drain way, channel or stream.

(B) Water and Sanitary Sewer Line Easements - A 10 foot set-back requirement from a secondary 4 inch or smaller pressurized water line in an alley and a 5 foot set-back requirement from a non-pressurized utility line easement shall not be required.

(C) Storm Drainage Easements - A street shall be considered an easement adjacent to an open storm drainage way.

Figure 6 - CONTROL OF ACCESS LIMITATION
The residential access limitation from this illustration will not be applicable.
Figure 7 - STREET DESIGN CRITERIA
Residential Street, 2 lane, 31' (B-B):
Add maximum degree of curvature of 40 degrees/200'
Allow intersection curb radius of 20'

Residential Street, 2 lane, 37' (B-B):
Add maximum degree of curvature of 30 degrees/300'
Allow intersection curb radius of 20'

5. DRAINAGE:

A 15' wide maintenance easement along both sides of a drainage way or a 20' wide easement along one side will not be required on a golf course.

Drainage courses will not be required to have an enclosed storm sewer system or concrete or composite channel if the drainage course is landscaped and engineered to handle water flows and treated to look like a natural state.

6. WATER LINES

Allow water meters on a private property if adjacent to an alley

(A) Meter Requirements - Electronic remote read meters will be allowed by the City of Lewisville.

Figure 24 - UTILITIES PLAN WITHIN STREET R.O.W.
Utilities are not required to be located between the curb and the sidewalk.

7. Height regulations: no building shall exceed 35 ft. or two and one half 2 1/2 stories in height.

This subdivision is also subject to an agreement between the City of Lewisville and Castle Hills Development Corp. dated April 1, 1996. This agreement contains restrictions which may or may not be more restrictive than the above. In such cases the more restrictive of the two shall apply.

City of Lewisville VARIANCES APPROVED:
PER AGREEMENT Between the City of Lewisville and Castle Hills dated April 1, 1996
VARIANCES APPROVED BY CITY COUNCIL ON 20\_\_

- A. To allow a 34' street right of way with 10' street, sidewalk and utility easement in lieu of the required 50' right of way
B. To allow Blocks F and G to have a zoning district of Townhouse 2 (TH-2)
C. To waive the alley requirement for lots less than 10,000 Sq.Ft. in area.

Recommended for Approval:

KRISTIN GREEN Date
Chairperson Planning & Zoning Commission
City of Lewisville, Texas

Chairperson TBD at next P&Z meeting. Please leave blank for the time being

Approved and Accepted

RUDY DURHAM, Mayor Date
City of Lewisville, Texas

The undersigned, the City Secretary of the City of Lewisville, Texas hereby certifies that the foregoing final plat of LOT 1XR, BLOCK A, LOTS 1R, 2-7, and 8X, BLOCK F, and LOTS 1X, 2-9, and 10X, BLOCK G, CASTLE HILLS - GOLF VILLAS PHASE III, an addition to Denton County was submitted to the appropriate Planning & Zoning Commission or City Council as required by the ordinances of the City of Lewisville on the day of 2020, and such body by formal action, then and there accepted the dedication of streets as shown and set forth in and upon said plat, and said body further authorized the acceptance thereof; by signing as herein above subscribed and in the capacity stated.

Witness by my hand this day 2020.

JULIE WORSTER
City Secretary
City of Lewisville, Texas

SURVEYOR'S CERTIFICATION:

That I, David Carlton Lewis, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown hereon were properly placed under my supervision, in accordance with the Subdivision Regulations of the City of Lewisville and the County of Denton County, Texas

This document shall not be recorded for any purpose. This drawing shall be used for REVIEW PURPOSES ONLY
David Carlton Lewis
R.P.L.S. No. 5647
Date: July 6, 2020



David Carlton Lewis
R.P.L.S. NO. 5647

STATE OF TEXAS
COUNTY OF TARRANT

BEFORE ME, the undersigned authority, a notary public for the State of Texas, on this day appeared David Carlton Lewis whose name is subscribed to the foregoing instrument and acknowledged executing the foregoing Owner's Certificate of Dedication.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on 2020

Expiration Date: Signed
NOTARY PUBLIC IN AND FOR STATE OF TEXAS

FLOODPLAIN STATEMENT: According to the Flood Insurance Rate Map No. 48121C05 G, published by the Federal Emergency Management Agency, dated: April 18, 2011 the surveyed property shown hereon does not lie within any special flood hazard area inundated by the 100-year flood.

NOTES:

- 1. All common areas to be owned by D.C.F.W.S.D. 1-A and maintained by the Homeowner's Association (HOA).

Table with 2 columns: Role (OWNER/DEVELOPER, ENGINEER, SURVEYOR, DISTRICT) and Contact Information (Name, Address, Phone, Fax).

FINAL PLAT
CASTLE HILLS - GOLF VILLAS
PHASE III
2.171 TOTAL ACRES
19 TOTAL LOTS
15 RESIDENTIAL LOTS
LOTS 1R, 2-7, BLOCK F
LOTS 2-9, BLOCK G
ZONING DESIGNATION - TH-2
4 COMMON AREA LOTS
LOT 1XR, BLOCK A
ZONING DESIGNATION - ETH
LOT 8X, BLOCK F
LOTS 1X AND 10X, BLOCK G
ZONING DESIGNATION - TH-2
BEING A REPLAT OF LOT 1X, BLOCK A, AND LOT 1, BLOCK F, CASTLE HILLS - GOLF VILLAS PHASE III, DOCUMENT NUMBER 2014-302 P.R.D.C.T. IN THE P. R. SPLANE SURVEY, A-1212 & THE J. T. DOOLEY SURVEY, A-343 CITY OF LEWISVILLE ETJ DENTON COUNTY, TEXAS
JULY 2020



# Golf Villas Markup Summary

## DRussell (7)

06\_2022 - 10 Days  
11:45 AM  
C:\Users\DRussell\Documents\2022\2022-06-20-10 Days\2022-06-20-10 Days.dwg

Include a note that the HOA will maintain the x lots.



**Author:** DRussell

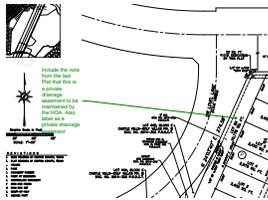
Include a note that the HOA will maintain the x lots.



Include a drop in the MH

**Author:** DRussell

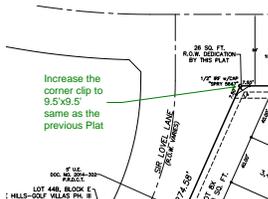
Include a drop in the MH



Include the note from the last Plat that this is a private drainage easement to be maintained by the HOA. Also label as a private drainage easement

**Author:** DRussell

Include the note from the last Plat that this is a private drainage easement to be maintained by the HOA. Also label as a private drainage easement



Increase the corner clip to 9.5'x9.5' same as the previous Plat

**Author:** DRussell

Increase the corner clip to 9.5'x9.5' same as the previous Plat



The variances will need to go back to Council

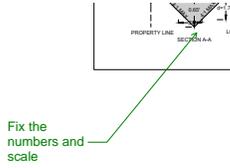
**Author:** DRussell

The variances will need to go back to Council

0/11



**LEWISVILLE**  
Deep Roots. Broad Wings. Bright Future.



**Author:** DRussell

Fix the numbers and scale

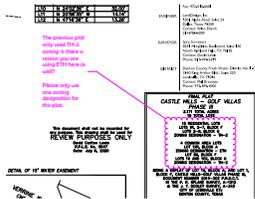
Include the DA Map of CH PH IV Section A

**Author:** DRussell

Include the DA Map of CH PH IV Section A

Year	Code	Value	Std	Plan	Section	Friction	Scope	Notes
1995	RS	10000	100	FT	RS	0.015	10	0.000000

### Jon Beckham (7)



**Author:** Jon Beckham

The previous plat only used TH-2 zoning. Is there a reason you are using ETH here as well?

Please only use one zoning designation for this plat.

10.8 FT Please provide a variance letter and variance exhibit with the next submittal

**Author:** Jon Beckham

Please provide a variance letter and variance exhibit with the next submittal



**Author:** Jon Beckham

Match the Title Block found in Appendix 1 of the 1996 GDO

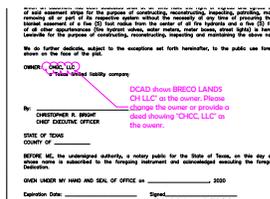


**LEWISVILLE**  
Deep Roots. Broad Wings. Bright Future.



**Author:** Jon Beckham

Chairperson TBD at next P&Z meeting. Please leave blank for the time being



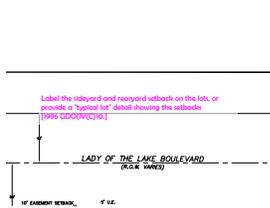
**Author:** Jon Beckham

DCAD shows BRECO LANDS CH LLC" as the owner. Please change the owner or provide a deed showing "CHCC, LLC" as the owner.



**Author:** Jon Beckham

Match the Owner's Certificate of Dedication found in the 1996 GDO Appendix 1



**Author:** Jon Beckham

Label the sideyard and rearward setback on the lots, or provide a "typical lot" detail showing the setbacks [1996 GDO(IV)(C)10.]

kchearon (6)

Provide street lights at intersections.

**Author:** kchearon

Provide street lights at intersections.



## MEMORANDUM

**TO:** Planning and Zoning Commission  
**FROM:** Jon Beckham, Senior Planner  
**DATE:** August 4, 2020  
**SUBJECT:** **Continued - Preliminary Plat of Parker Place Addition, Containing 131 Residential Lots and 3 Open Space Lots; on 24.120 Acres, Out of the B.B.B. and C.R.R. Survey, Abstract No. 180, J. Johnson Survey, Abstract No. 1609, and A. Singleton Survey, Abstract No. 1138; Zoned Planned Development – Estate Townhouse District (PD – ETH); Located at the Northeast Corner of Windhaven Parkway and Parker Road (F.M. 544).**

### **BACKGROUND:**

On September 16, 2019 City council approved an amendment to the City's Land Development Regulations regarding plats and replats to conform to new legislative procedures. House Bill 3167 specifies that the Planning and Zoning Commission (P&Z) or the official responsible for the approval of plat, shall approve, approve with conditions, or disapprove a plat application within 30 days after the date the plat was filed with the City. This bill went into effect on September 1, 2019.

### **ANALYSIS:**

House Bill 3167 requires a written list of reasons for disapproval to be provided for plats that are disapproved. Each reason specified in the written statement must be directly related to the requirements of the land development regulations and include a citation to the applicable law, including statute or municipal ordinance, that is the basis for the reason for disapproval.

On July 21, 2020 the applicant requested an extension of the Planning and Zoning Commission's decision on Parker Place to the August 4th meeting in accordance with HB. 3167 Section 212.0091 (b-2).

The preliminary plat of Park Place was resubmitted on July 20, 2020 and has been reviewed by staff. Staff recommends disapproval of the above plat with following reasons based on Chapter 6 Land Development Regulations of the Lewisville Code of Ordinances

#### **Section 6-73(b) Preliminary Plat**

- (26) Park dedication to be determined with preliminary plat

#### **Section 6-94 Lots**

- Control of access must be shown on corner clips

#### **Section 6-95 Easements/R.O.W.s**

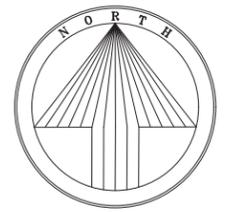
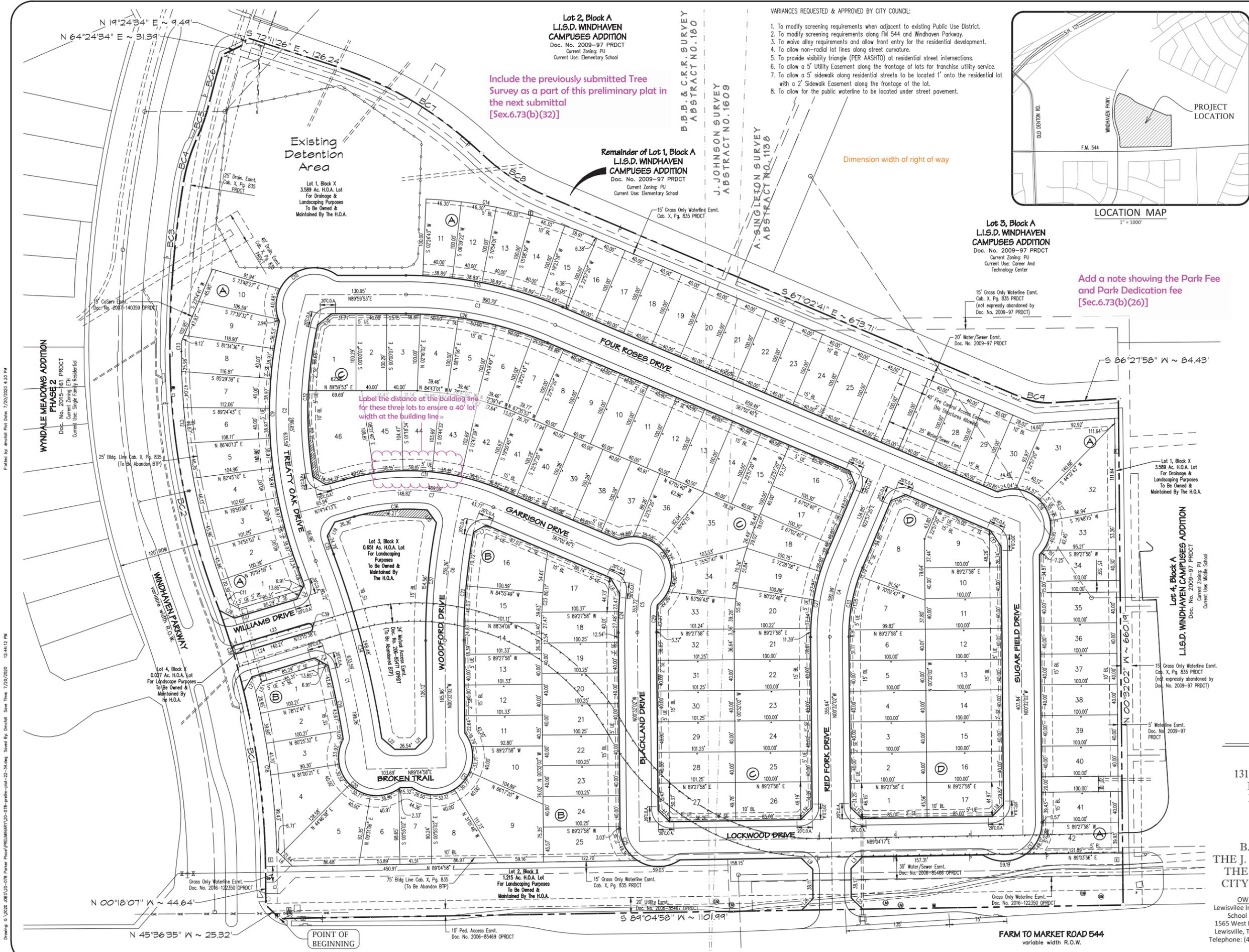
- Easements must meet City specification
- Screening walls are not allowed on water or sewer easements

- Sewer line must be located within easement.

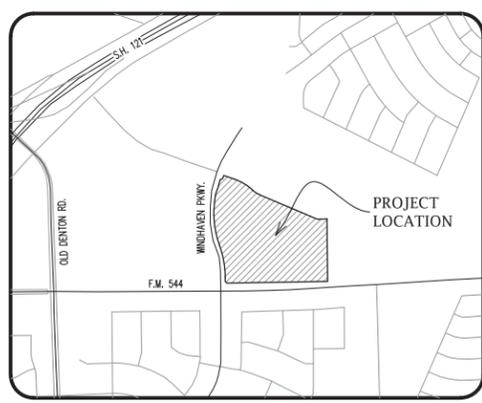
The applicant may resubmit a revised preliminary plat reflecting discrepancies cited by Staff comments. Staff shall then determine within 15 days if the revised application and response adequately addresses each reason for the disapproval.

**RECOMMENDATION:**

Staff recommends that the Planning and Zoning Commission disapprove the preliminary plat of Parker Place for the deficiencies listed above and delegate to staff the ability to accept and approve the plat once the listed deficiencies are corrected. The approved plat will be brought to the chair for signature.



1" = 60 ft.  
 Basis of bearing: State Plane Coordinate System, North Texas Central Zone 4202, North American Datum of 1983. Adjustment Realization 2011.



LOCATION MAP  
 1" = 1000'

- VARIANCES REQUESTED & APPROVED BY CITY COUNCIL:
- To modify screening requirements when adjacent to existing Public Use District.
  - To modify screening requirements along FM 544 and Windhaven Parkway.
  - To waive alley requirements and allow front entry for the residential development.
  - To allow non-radial lot lines along street curvature.
  - To provide visibility triangle (PER AASHTO) at residential street intersections.
  - To allow a 5' Utility Easement along the frontage of lots for franchise utility service.
  - To allow a 5' sidewalk along residential streets to be located 1' onto the residential lot with a 2' Sidewalk Easement along the frontage of the lot.
  - To allow for the public waterline to be located under street pavement.

Include the previously submitted Tree Survey as a part of this preliminary plat in the next submittal [Sec.6.73(b)(32)]

Dimension width of right of way

Add a note showing the Park Fee and Park Dedication fee [Sec.6.73(b)(26)]

- Notes:
- Selling a portion of property by metes and bounds except as shown on an approved, filed and accepted Conveyance Plat, Final Plat or Minor Plat is a violation of the City's Code of Ordinances and state law.
  - All corners are 1/2 inch iron rods with yellow plastic caps stamped "SPIARS ENG RPLS 5252" unless otherwise noted.
  - Basis of bearing, horizontal and vertical position derived from the Texas WDS RTK Network-Texas State Plane Coordinate System, NAD83, North Central Zone (4202).
  - All open space areas, Lots 1-4, Block X, to be owned and maintained by the H.O.A.
  - The total amount of ROW on this plat is to be dedicated to the City of Lewisville. All ROW dedicated to the City of Lewisville in fee simple.
  - Dedicated ROW including corner clips = 230,829.226 Sq.Ft. or 5.299 Acres.
  - Floodplain does not exist on the property per FEMA FIRM Panel Map 48121C0570G, dated April 18, 2011.
  - Screening walls along FM 544 and Windhaven Parkway will be maintained by the HOA.
  - Approved PD Ordinance No. 0210-20-ZON.

LEGEND	
(Not all items may be applicable)	
IRF	1/2" IRON ROD WITH PLASTIC CAP STAMPED "SPIARS ENG RPLS 5252" SET UNLESS OTHERWISE NOTED
IRF	IRON ROD FOUND
CRF	CAPPED IRON ROD FOUND
IPF	IRON PIPE FOUND
AMF	ALUMINUM MONUMENT FOUND
CM	CONTROL MONUMENT
E	EASEMENT
UL	UTILITY
DE	DRAINAGE EASEMENT
DUE	DRAINAGE AND UTILITY EASEMENT
UE	UTILITY EASEMENT
WE	WATER EASEMENT
SSE	SANITARY SEWER EASEMENT
SE	SIDEWALK EASEMENT
STE	STREET EASEMENT
FAUE	FIRELANE, ACCESS, & UTILITY EASEMENT
WW	WASTE WATER EASEMENT
WME	WALL MAINTENANCE EASEMENT
HBE	HIKE & BIKE TRAIL EASEMENT
CA	CONTROL OF ACCESS
VAM	VISIBILITY, ACCESS & MAINTENANCE EASEMENT
BT	BY THIS PLAT
R.O.W.	RIGHT-OF-WAY
M.F.F.	MINIMUM FINISH FLOOR ELEVATION
BL	BUILDING LINE
◆	STREET NAME CHANGE
○	CENTERLINE
▲	BLOCK DESIGNATION
▲	STREET FRONTAGE
Cab.	CABINET
Vol.	VOLUME
Pg.	PAGE
No.	NUMBER
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY
FIRM	FLOOD INSURANCE RATE MAP
NTS	NOT TO SCALE
Ord. No.	ORDINANCE NUMBER
Inst./Doc.	INSTRUMENT OR DOCUMENT
(DRDCT)	DEED RECORDS, DENTON COUNTY, TEXAS
(PRDCT)	PLAT RECORDS, DENTON COUNTY, TEXAS
(OPRDT)	OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS

Bench Mark 1  
 City of Lewisville GPS Monument 13 on Midway  
 Road at FM 544  
 Northing - 7067410.67, Easting - 2450454.98,  
 Elevation - 510.02

PRELIMINARY PLAT

PARKER PLACE

131 RESIDENTIAL LOTS & 3 COMMON AREAS  
 LOTS 1-43 BLOCK A, LOTS 1-25 BLOCK B,  
 LOTS 1-46 BLOCK C, LOTS 1-17 BLOCK D  
 24.120 TOTAL ACRES

ZONED: PD-ETH (0210-20-ZON)  
 OUT OF THE

B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 180,  
 THE J. JOHNSTON SURVEY, ABSTRACT NO.1609, AND  
 THE A. SINGLETON SURVEY, ABSTRACT NO.1138  
 CITY OF LEWISVILLE, DENTON COUNTY, TEXAS

OWNER Lewisville Independent School District 1565 West Main Street Lewisville, Texas 75007 Telephone: (469) 716-5200	APPLICANT David Weekley Homes 3301 N. I 35 E Carrollton, Texas 75007 Telephone: (972) 323-7470 Contact: Ned Wilson	ENGINEER / SURVEYOR Spiars Engineering, Inc. 765 Custer Road, Suite 100 Plano, TX 75075 Telephone: (972) 422-0077 TBPE No. F-2121 Contact: Greg Helsel Sheet 1 of 3
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Drawing: G:\2020\069\03-078 Parker Place\PRELIMINARY\03-078-prelim-plot-22-34.dwg Saved By: Dincal Date: 7/20/2020 12:44:12 PM  
 Plotted by: dincal Plot Date: 7/20/2020 4:20 PM

LEGAL DESCRIPTION

BEING a tract of land situated in the B.B.B. & C.R.R. Survey, Abstract No. 180, the J. Johnson Survey, Abstract No. 1609, and the A. Singleton Survey, Abstract No. 1138, City of Lewisville, Denton County, Texas, the subject tract being a portion of Lot 1, Block A, L.I.S.D. Windhaven Campuses Addition, according to the plat recorded in Document No. 2009-97 of the Plat Records, Denton County, Texas (PRDCT), with the subject tract being more particularly described as follows:

BEGINNING at a 1/2" iron rod with plastic cap stamped "SPIARSENG" set for the south end of a corner clip being the intersection of the north line of Farm to Market Road 544, a variable width right-of-way, with the east line of Windhaven Parkway, a variable width right-of-way;

THENCE N 45°36'35" W, 25.32 feet along said corner clip to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;

THENCE along the east line of Windhaven Parkway, the following:

N 00°18'07" W, 44.64 feet;

A tangent curve to the left having a central angle of 20°26'28", a radius of 1015.00 feet, a chord of N 10°31'21" W - 360.20 feet, an arc length of 362.12 feet;

A reverse curve having a central angle of 20°38'57", a radius of 915.00 feet, a chord of N 10°25'07" W - 327.98 feet, an arc length of 329.76 feet;

A compound curve to the right having a central angle of 09°22'45", a radius of 1339.00 feet, a chord of N 04°35'44" E - 218.95 feet, an arc length of 219.19 feet;

A compound curve to the right having a central angle of 15°09'07", a radius of 237.50 feet, a chord of N 16°51'40" E - 62.62 feet, an arc length of 62.81 feet;

A reverse curve having a central angle of 10°26'08", a radius of 262.50 feet, a chord of N 19°13'09" E - 47.74 feet, an arc length of 47.81 feet;

A reverse curve having a central angle of 02°50'25", a radius of 1327.00 feet, a chord of N 15°25'18" E - 65.78 feet, an arc length of 65.78 feet;

N 64°24'34" E, 31.39 feet;

And N 19°24'34" E, 9.49 feet to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set, from which a 1/2" iron rod with plastic cap found for the northeast corner of Lot 2, Block A, L.I.S.D. Windhaven Campuses Addition, bears N 64°29'48" E, 1135.37 feet;

THENCE into Lot 1, the following:

S 72°11'26" E, 126.24 feet;

A non-tangent curve to the right having a central angle of 25°09'16", a radius of 500.50 feet, a chord of S 58°55'15" E - 217.97 feet, an arc length of 219.73 feet;

A reverse curve having a central angle of 20°42'04", a radius of 274.00 feet, a chord of S 56°41'39" E - 98.46 feet, an arc length of 99.00 feet;

S 67°02'41" E, 673.71 feet;

A tangent curve to the left having a central angle of 26°29'21", a radius of 99.50 feet, a chord of S 80°17'22" E - 45.59 feet, an arc length of 46.00 feet;

And N 86°27'58" E, 84.43 feet to an "X" set in concrete on the west line of Lot 4, Block A, L.I.S.D. Windhaven Campuses Addition, and from which a 1/2" iron rod with plastic cap found for the northeast corner thereof bears N 81°02'03" E, 1379.22 feet;

THENCE S 00°32'02" E, 660.19 feet along the west line thereof to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set on the north line of Farm to Market Road 544 for the southwest corner of Lot 4;

THENCE S 89°04'58" W, 1101.99 feet along the north line of Farm to Market Road 544 to the POINT OF BEGINNING with the subject tract containing 1,050,653 square feet or 24.120 acres of land.

SURVEYOR'S CERTIFICATE

That I, Darren K. Brown, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision regulations of the City of Lewisville, Texas.

Dated this the \_\_\_\_\_ day of \_\_\_\_\_, 2020.



\_\_\_\_\_  
Darren K. Brown, RPLS, No. 5252

NOTARY CERTIFICATE

STATE OF TEXAS §  
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Darren K Brown, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Notary Public, State of Texas

Preliminary Plat for Review Purpose Only  
Recommended for Approval

James Davis, Chairman, Planning & Zoning Commission \_\_\_\_\_ Date  
City of Lewisville, Texas

Approved for Preparation of Final Plat

Rudy Durham, Mayor, City of Lewisville, Texas \_\_\_\_\_ Date

Plotted by: amcdiff Plot Date: 7/20/2020 12:42 PM

Drawing: G:\2020\DRG\20-078 Parker Place\PRELIMINARY\20-078-prelim-plat-24-120.dwg Saved By: Dncidl Save Time: 7/20/2020 12:36:52 PM

PRELIMINARY PLAT  
**PARKER PLACE**  
131 RESIDENTIAL LOTS & 3 COMMON AREAS  
LOTS 1-43 BLOCK A, LOTS 1-25 BLOCK B,  
LOTS 1-46 BLOCK C, LOTS 1-17 BLOCK D  
24.120 TOTAL ACRES  
ZONED: PD-ETH (0210-20-ZON)  
OUT OF THE  
B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 180,  
THE J. JOHNSTON SURVEY, ABSTRACT NO.1609, AND  
THE A. SINGLETON SURVEY, ABSTRACT NO.1138  
CITY OF LEWISVILLE, DENTON COUNTY, TEXAS

OWNER  
Lewisville Independent  
School District  
1565 West Main Street  
Lewisville, Texas 75007  
Telephone: (469) 716-5200

APPLICANT  
David Weekley Homes  
3301 N. I 35 E  
Carrollton, Texas 75007  
Telephone: (972) 323-7470  
Contact: Ned Wilson

ENGINEER / SURVEYOR  
Spiars Engineering, Inc.  
765 Custer Road, Suite 100  
Plano, TX 75075  
Telephone: (972) 422-0077  
TBPE No. F-2121  
Contact: Greg Helsel

Plotted by: arellano Plot Date: 7/20/2020 12:43 PM

Drawing: G:\2020\0803\08 Parker Place\PRELIMINARY\08-prelim-plat-22-34.dwg Saved By: Dincell Saw Time: 7/20/2020 12:36:52 PM

Boundary Curve Table					
Curve #	Length	Radius	Chord	Chord Bearing	Delta
BC1	362.12'	1015.00'	360.20'	N 10°31'21" W	20°26'28"
BC2	329.76'	915.00'	327.98'	S 10°25'07" E	20°38'57"
BC3	219.19'	1339.00'	218.95'	S 04°35'44" W	9°22'45"
BC4	62.81'	237.50'	62.62'	S 16°51'40" W	15°09'07"
BC5	47.81'	262.50'	47.74'	N 19°13'09" E	10°26'08"
BC6	65.78'	1327.00'	65.78'	S 15°25'18" W	2°50'25"
BC7	219.73'	500.50'	217.97'	N 58°55'15" W	25°09'16"
BC8	99.00'	274.00'	98.46'	S 56°41'39" E	20°42'04"
BC9	46.00'	99.50'	45.59'	S 80°17'22" E	26°29'21"

Centerline Curve Table						
Curve #	Length	Radius	Tangent	Chord	Chord Bearing	Delta
C1	279.98'	1155.00'	140.68'	279.29'	N13°47'56"W	13°53'20"
C2	353.61'	545.00'	183.28'	347.44'	N02°09'20"W	37°10'31"
C3	200.34'	500.00'	101.53'	199.00'	S78°31'24"E	22°57'27"
C4	102.49'	250.00'	51.98'	101.78'	N11°12'39"E	23°29'22"
C5	81.44'	500.00'	40.81'	81.35'	N04°07'57"E	9°19'58"
C6	189.31'	750.00'	95.16'	188.80'	N06°41'49"E	14°27'43"
C7	192.59'	285.00'	100.14'	188.95'	S86°24'13"E	38°43'06"

Lot Line Table		
Line #	Length	Direction
L1	14.51'	S 63°16'12" E
L2	20.76'	S 27°03'23" W
L3	21.30'	N 44°17'50" E
L4	20.76'	N 60°32'05" W
L5	14.51'	N 29°47'27" E
L6	28.35'	N 46°02'37" W
L7	19.24'	S 61°21'06" W
L8	24.13'	N 30°36'01" W
L9	21.14'	N 45°43'37" W
L10	23.57'	N 51°46'38" E
L11	21.21'	N 22°02'40" W
L12	21.29'	N 44°16'08" E
L13	21.14'	S 45°43'52" E
L14	20.12'	S 57°53'26" E
L15	21.14'	S 45°43'52" E
L16	21.21'	N 67°57'20" E
L17	25.09'	N 33°47'21" W
L18	21.29'	N 44°16'08" E
L19	20.95'	N 28°31'32" E
L20	20.39'	N 35°43'27" W
L21	21.28'	N 44°16'28" E
L22	22.54'	N 49°36'56" W
L23	97.85'	S 73°15'38" W
L24	97.85'	N 73°15'38" E
L25	21.14'	N 45°43'32" W
L26	21.28'	N 44°16'28" E
L27	21.70'	S 29°36'05" W
L28	21.70'	S 63°04'50" E

Lot Curve Table					
Curve #	Length	Radius	Chord	Chord Bearing	Delta
C8	23.96'	1130.00'	23.96'	N 20°08'08" W	1°12'54"
C9	38.97'	570.00'	38.97'	S 01°22'15" E	3°55'04"
C10	87.57'	50.00'	76.80'	S 76°41'36" W	100°20'58"
C11	11.95'	1030.00'	11.95'	N 20°24'39" W	0°39'53"
C12	46.67'	900.00'	46.66'	S 06°13'36" E	2°58'15"
C13	12.63'	1324.00'	12.63'	S 00°10'45" W	0°32'47"
C14	46.30'	625.00'	46.29'	N 81°13'19" W	4°14'39"
C15	38.89'	525.00'	38.88'	N 81°13'19" W	4°14'39"
C16	30.77'	50.00'	30.29'	N 27°49'31" W	35°15'32"
C17	48.12'	50.00'	46.28'	N 27°41'13" E	55°08'28"
C18	41.70'	1030.00'	41.69'	N 08°25'00" W	2°19'10"
C19	43.67'	1130.00'	43.67'	N 10°40'54" W	2°12'52"
C20	30.77'	50.00'	30.29'	S 62°51'08" E	35°15'32"
C21	30.77'	50.00'	30.29'	N 41°20'26" E	35°15'32"
C22	46.03'	725.00'	46.03'	S 03°15'02" W	3°38'17"
C23	39.63'	625.00'	39.63'	S 02°30'41" W	3°38'00"
C24	27.48'	525.00'	27.47'	S 00°57'55" W	2°59'55"
C25	49.36'	50.00'	47.38'	S 28°48'54" E	56°33'43"
C26	50.00'	475.00'	49.98'	N 78°41'07" W	6°01'54"
C27	37.34'	275.00'	37.31'	S 05°43'48" W	7°46'48"
C28	51.84'	340.00'	51.79'	S 13°41'47" W	8°44'12"
C29	32.27'	475.00'	32.26'	S 01°49'06" W	3°53'31"
C30	30.77'	50.00'	30.29'	N 31°39'59" W	35°15'32"
C31	38.15'	310.00'	38.13'	N 87°47'01" W	7°03'06"
C32	112.31'	520.00'	112.09'	S 03°00'15" E	12°22'30"
C33	71.55'	225.00'	71.25'	S 10°50'37" W	18°13'12"
C34	248.48'	1180.00'	248.02'	N 14°42'38" W	12°03'54"
C35	24.78'	520.00'	24.78'	S 19°22'40" E	2°43'50"
C36	96.27'	260.00'	95.72'	S 84°50'40" W	21°12'53"
C37	154.56'	775.00'	154.30'	S 05°10'45" W	11°25'35"
C38	17.28'	5.50'	11.00'	S 16°44'22" E	180°00'00"
C39	17.28'	5.50'	11.00'	N 16°44'22" W	180°00'00"

Lot Area Table			
Lot #	Block #	Square Feet	Acreage
1	A	4,379	0.101
2	A	4,267	0.098
3	A	4,320	0.099
4	A	4,410	0.101
5	A	4,537	0.104
6	A	4,702	0.108
7	A	4,905	0.113
8	A	5,132	0.118
9	A	4,851	0.111
10	A	4,060	0.093
11	A	4,259	0.098
12	A	4,259	0.098
13	A	4,259	0.098
14	A	4,259	0.098
15	A	4,218	0.097
16	A	4,000	0.092
17	A	4,000	0.092
18	A	4,000	0.092
19	A	4,000	0.092
20	A	4,000	0.092
21	A	4,000	0.092
22	A	4,000	0.092
23	A	4,000	0.092
24	A	4,000	0.092
25	A	4,000	0.092

Lot Area Table			
Lot #	Block #	Square Feet	Acreage
28	A	4,000	0.092
29	A	4,000	0.092
30	A	4,001	0.092
31	A	6,485	0.149
32	A	6,767	0.155
33	A	4,012	0.092
34	A	4,016	0.092
35	A	4,000	0.092
36	A	4,000	0.092
37	A	4,000	0.092
38	A	4,000	0.092
39	A	4,000	0.092
40	A	4,000	0.092
41	A	4,000	0.092
42	A	4,295	0.099

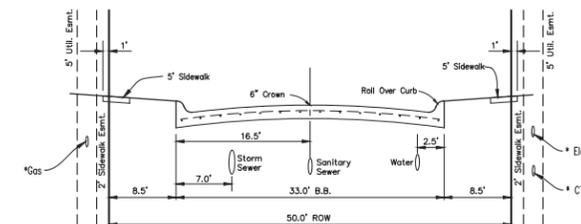
Lot Area Table			
Lot #	Block #	Square Feet	Acreage
1	B	4,275	0.098
2	B	4,182	0.096
3	B	4,006	0.092
4	B	6,653	0.153
5	B	7,230	0.166
6	B	4,185	0.096
7	B	4,001	0.092
8	B	5,544	0.127
9	B	8,690	0.199
10	B	5,102	0.117
11	B	4,000	0.092
12	B	4,053	0.093
13	B	4,053	0.093
14	B	4,205	0.097
15	B	4,320	0.099
16	B	6,936	0.159
17	B	5,843	0.134
18	B	4,011	0.092
19	B	4,010	0.092
20	B	4,010	0.092
21	B	4,010	0.092
22	B	4,010	0.092
23	B	4,010	0.092
24	B	4,010	0.092
25	B	4,814	0.111

Lot Area Table			
Lot #	Block #	Square Feet	Acreage
1	C	5,526	0.127
2	C	4,012	0.092
3	C	4,209	0.097
4	C	4,488	0.103
5	C	4,488	0.103
6	C	4,488	0.103
7	C	4,209	0.097
8	C	4,000	0.092
9	C	4,000	0.092
10	C	4,000	0.092
11	C	4,000	0.092
12	C	4,000	0.092
13	C	4,000	0.092
14	C	4,000	0.092
15	C	4,000	0.092
16	C	5,642	0.130
17	C	4,012	0.092
18	C	4,352	0.100
19	C	4,528	0.104
20	C	4,652	0.107
21	C	4,001	0.092
22	C	4,000	0.092
23	C	4,000	0.092

Lot Area Table			
Lot #	Block #	Square Feet	Acreage
24	C	4,000	0.092
25	C	4,000	0.092
26	C	4,831	0.111
27	C	4,963	0.114
28	C	4,050	0.093
29	C	4,050	0.093
30	C	4,050	0.093
31	C	4,050	0.093
32	C	4,050	0.093
33	C	4,433	0.102
34	C	4,617	0.106
35	C	7,191	0.165
36	C	4,235	0.097
37	C	4,001	0.092
38	C	4,011	0.092
39	C	4,011	0.092
40	C	4,011	0.092
41	C	4,203	0.096
42	C	4,510	0.104
43	C	4,591	0.105
44	C	4,640	0.107
45	C	4,741	0.109
46	C	8,861	0.203

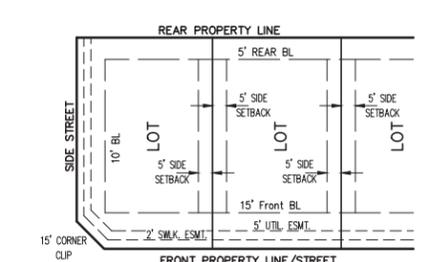
Lot Area Table			
Lot #	Block #	Square Feet	Acreage
1	D	4,478	0.103
2	D	4,000	0.092
3	D	4,000	0.092
4	D	4,000	0.092
5	D	4,000	0.092
6	D	4,000	0.092
7	D	5,242	0.120
8	D	8,277	0.190
9	D	5,827	0.134
10	D	4,000	0.092
11	D	4,000	0.092
12	D	4,001	0.092
13	D	4,000	0.092
14	D	4,000	0.092
15	D	4,000	0.092
16	D	4,000	0.092
17	D	4,409	0.101

Open Space Area Table		
Lot #	Block #	Acres
4	X	0.027
1	X	3.589
2	X	1.209
3	X	0.651



\* Franchise utility locations are for reference only and subject to change.

Typical 50' R.O.W. Section (33' BB Pavement)

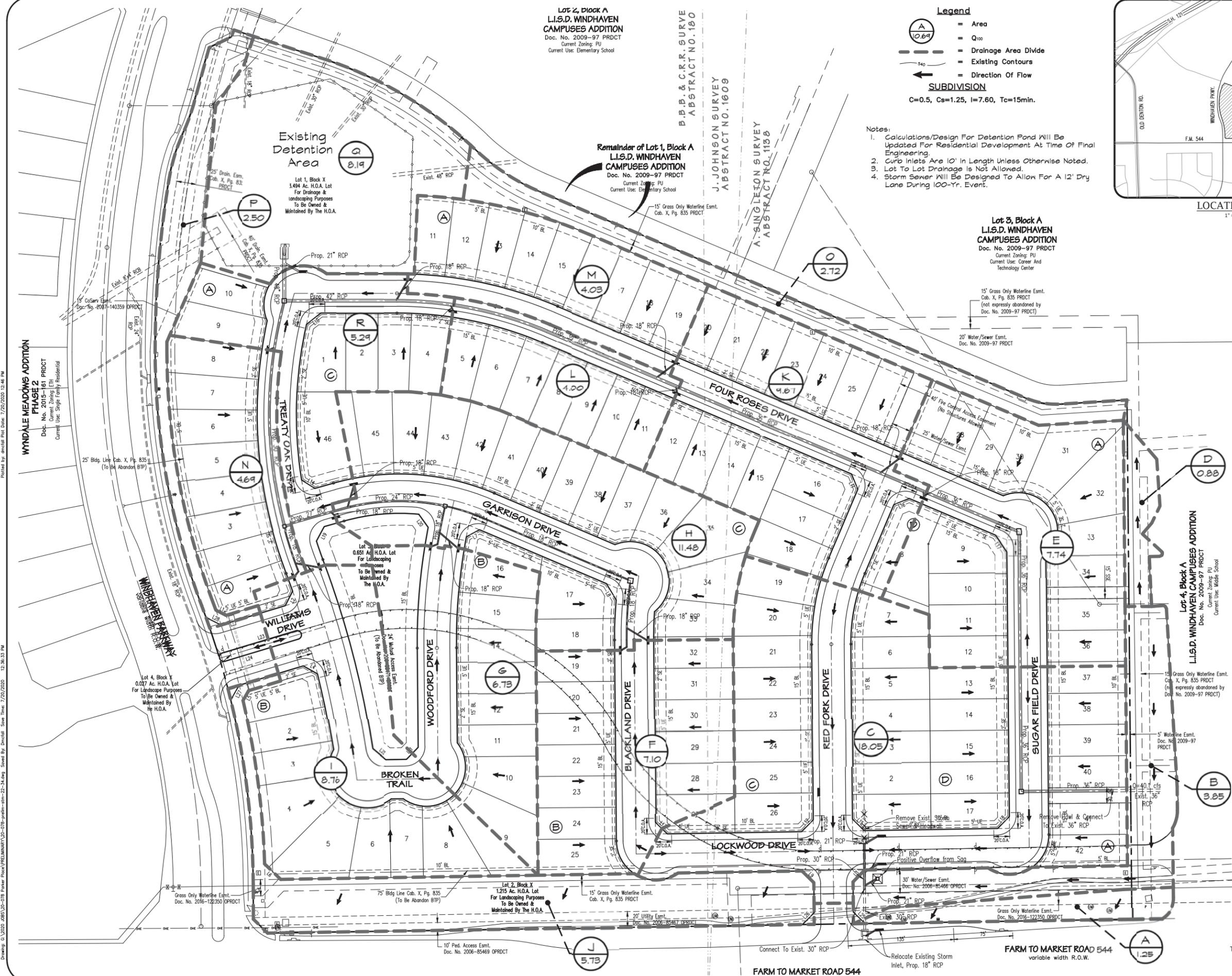


LOT DETAIL FOR 131 LOTS TO PD STANDARDS (131 Lots/24.120 Acres = 5.43 units/acres)

Zoning Classification	PD-ETH
Total Acreage	24.120
Minimum Lot Area	4000 sq. ft.
Minimum Dwelling Size	1800 sq. ft.
Total Number Of Lots	131
Phases	1
Density	5.43 Units/Acre

**PRELIMINARY PLAT**  
**PARKER PLACE**  
 131 RESIDENTIAL LOTS & 3 COMMON AREAS  
 LOTS 1-43 BLOCK A, LOTS 1-25 BLOCK B,  
 LOTS 1-46 BLOCK C, LOTS 1-17 BLOCK D  
 24.120 TOTAL ACRES  
 ZONED: PD-ETH (0210-20-ZON)  
 OUT OF THE  
 B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 180,  
 THE J. JOHNSTON SURVEY, ABSTRACT NO. 1609, AND  
 THE A. SINGLETON SURVEY, ABSTRACT NO. 1138  
 CITY OF LEWISVILLE, DENTON COUNTY, TEXAS

<b>OWNER</b> Lewisville Independent School District 1565 West Main Street Lewisville, Texas 75007 Telephone: (469) 716-5200	<b>APPLICANT</b> David Weekley Homes 3301 N. I 35 E Carrollton, Texas 75007 Telephone: (972) 323-7470 Contact: Ned Wilson	<b>ENGINEER / SURVEYOR</b> Spiars Engineering, Inc. 765 Custer Road, Suite 100 Plano, TX 75075 Telephone: (972) 422-0077 TBPE No. F-2121 Contact: Greg Helsel
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**LOT 2, BLOCK A  
L.I.S.D. WINDHAVEN  
CAMPUSES ADDITION**  
Doc. No. 2009-97 PRDCT  
Current Zoning: PU  
Current Use: Elementary School

**B.B.B. & C.R.R. SURVEY  
ABSTRACT NO. 180**

**J. JOHNSTON SURVEY  
ABSTRACT NO. 1609**

**A. SINGLETON SURVEY  
ABSTRACT NO. 1138**

**Remainder of Lot 1, Block A  
L.I.S.D. WINDHAVEN  
CAMPUSES ADDITION**  
Doc. No. 2009-97 PRDCT  
Current Zoning: PU  
Current Use: Elementary School

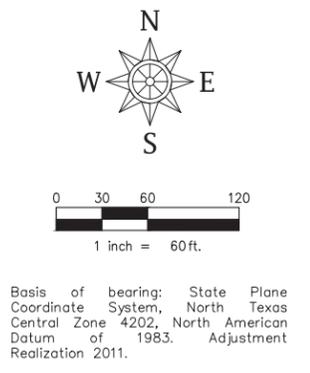
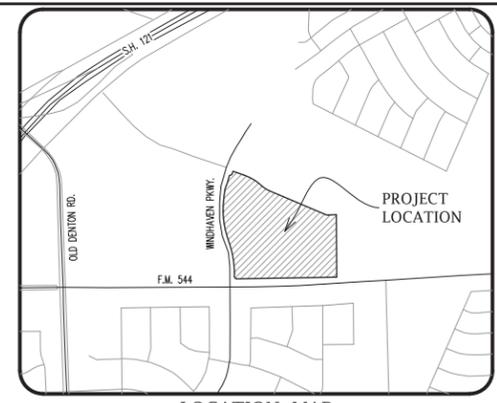
**Legend**

- = Area
- = Q100
- = Drainage Area Divide
- = Existing Contours
- = Direction Of Flow

**SUBDIVISION**  
C=0.5, Cs=1.25, I=7.60, Tc=15min.

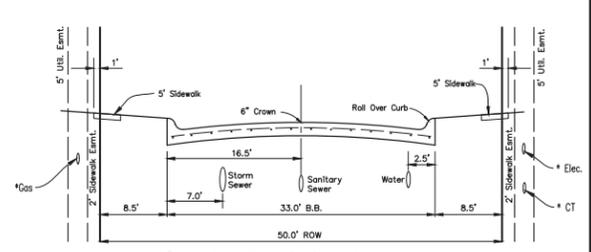
**Notes:**

- Calculations/Design For Detention Pond Will Be Updated For Residential Development At Time Of Final Engineering.
- Curb Inlets Are 10' In Length Unless Otherwise Noted.
- Lot To Lot Drainage Is Not Allowed.
- Storm Sewer Will Be Designed To Allow For A 12' Dry Lane During 100-Yr. Event.



**Drainage Area Table**

Drainage Basin	Area (Acres) "A"	Runoff Coefficient "C"	100 Year Coefficient "Cs"	Intensity (in./hr.) "I"	Storm Design Frequency (Yr)	Time Conc. (Min.) "Tc"	Discharge (C.F.S.) "Q"
A	0.26	0.50	1.25	7.60	100	15	1.25
B	0.81	0.50	1.25	7.60	100	15	3.85
C	3.80	0.50	1.25	7.60	100	15	18.05
D	0.19	0.50	1.25	7.60	100	15	0.88
E	2.04	0.50	0.00	7.60	100	15	7.74
F	1.49	0.50	1.25	7.60	100	15	7.10
G	1.42	0.50	1.25	7.60	100	15	6.73
H	2.42	0.50	1.25	7.60	100	15	11.48
I	1.84	0.50	1.25	7.60	100	15	8.76
J	1.21	0.50	1.25	7.60	100	15	5.73
K	2.04	0.50	1.25	7.60	100	15	9.67
L	0.84	0.50	1.25	7.60	100	15	4.00
M	1.06	0.50	0.00	7.60	100	15	4.03
N	0.99	0.50	1.25	7.60	100	15	4.69
O	0.57	0.50	1.25	7.60	100	15	2.72
P	0.53	0.50	1.25	7.60	100	15	2.50
Q	1.72	0.50	1.25	7.60	100	15	8.19
R	1.39	0.50	0.00	7.60	100	15	5.29



**PRELIMINARY DRAINAGE PLAN**

## PARKER PLACE

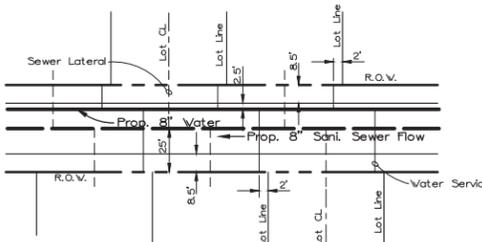
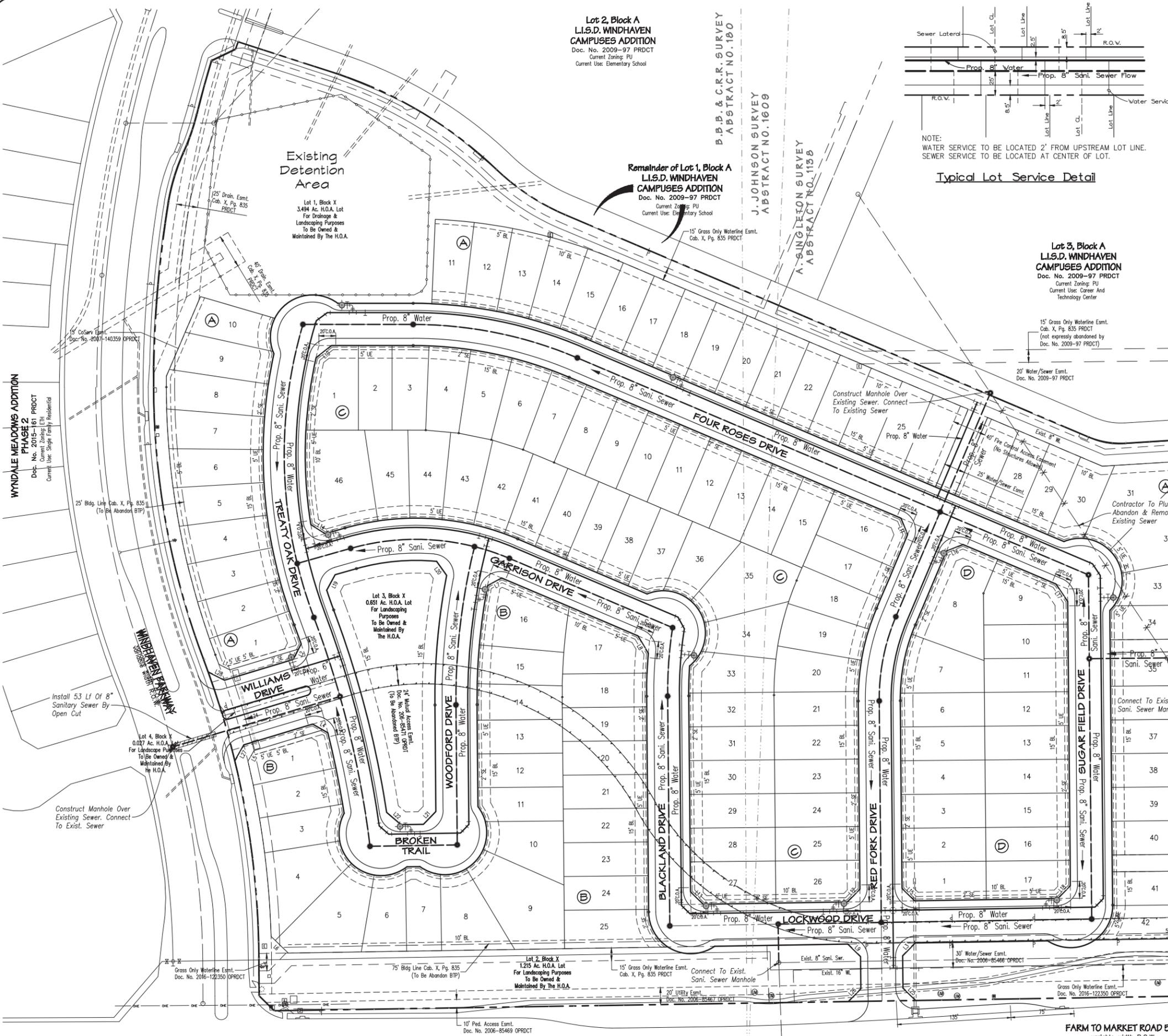
131 RESIDENTIAL LOTS & 3 COMMON AREAS  
LOTS 1-43 BLOCK A, LOTS 1-25 BLOCK B,  
LOTS 1-46 BLOCK C, LOTS 1-17 BLOCK D  
24.120 TOTAL ACRES  
ZONED: PD-ETH (0210-20-ZON)  
OUT OF THE  
B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 180,  
THE J. JOHNSTON SURVEY, ABSTRACT NO. 1609, AND  
THE A. SINGLETON SURVEY, ABSTRACT NO. 1138  
CITY OF LEWISVILLE, DENTON COUNTY, TEXAS

**OWNER**  
Lewisville Independent School District  
1565 West Main Street  
Lewisville, Texas 75007  
Telephone: (469) 716-5200

**APPLICANT**  
David Weekley Homes  
3301 N. I 35 E  
Carrollton, Texas 75007  
Telephone: (972) 323-7470  
Contact: Ned Wilson

**ENGINEER / SURVEYOR**  
Spiars Engineering, Inc.  
765 Custer Road, Suite 100  
Plano, TX 75075  
Telephone: (972) 422-0077  
TBPE No. F-2121  
Contact: Greg Helsel

Drawing: 8.12.20 08:53:05-078 Parker Place PRELIMINARY 08-078-prelim-08-22-24.dwg Saved By: Jmccall Date: 7/20/2020 12:45 PM  
Printed by: amccall Plot Date: 7/20/2020 12:45 PM  
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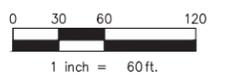


NOTE:  
WATER SERVICE TO BE LOCATED 2' FROM UPSTREAM LOT LINE.  
SEWER SERVICE TO BE LOCATED AT CENTER OF LOT.

Typical Lot Service Detail



LOCATION MAP  
1" = 1000'

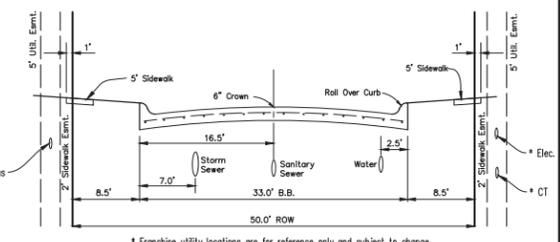


1 inch = 60ft.

Basis of bearing: State Plane  
Coordinate System, North Texas  
Central Zone 4202, North American  
Datum of 1983. Adjustment  
Realization 2011.

LEGEND

- Exist. Water Line
- Exist. Fire Hydrant
- Exist. Sewer Line
- Exist. Manhole
- |— Prop. Water Line and Valve
- |— Prop. Fire Hydrant
- |— Prop. Sewer Line
- |— Prop. Manhole
- |— Prop. Cleanout



Typical 50' R.O.V. Section  
(33' BB Pavement)

\* Franchise utility locations are for reference only and subject to change.

The sewer will need to be relocated into the SSE

PRELIMINARY WATER & SEWER PLAN

PARKER PLACE

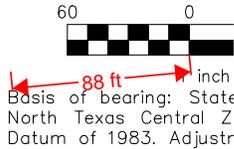
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24.120 TOTAL ACRES  
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THE A. SINGLETON SURVEY, ABSTRACT NO.1138  
CITY OF LEWISVILLE, DENTON COUNTY, TEXAS

<b>OWNER</b> Lewisville Independent School District 1565 West Main Street Lewisville, Texas 75007 Telephone: (469) 716-5200	<b>APPLICANT</b> David Weekley Homes 3301 N. I 35 E Carrollton, Texas 75007 Telephone: (972) 323-7470 Contact: Ned Wilson	<b>ENGINEER / SURVEYOR</b> Spiars Engineering, Inc. 765 Custer Road, Suite 100 Plano, TX 75075 Telephone: (972) 422-0077 TBPE No. F-2121 Contact: Greg Helsel
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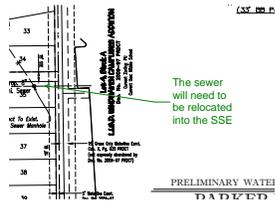


# Parker Place PP 2nd Full.pdf Markup Summary

## DRussell (2)



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**Author:** DRussell  
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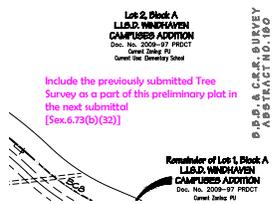
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**Page Label:** [1] 1-Prel Plat  
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**Layer:**  
**Space:** The sewer will need to be relocated into the SSE

## Ippolito (1)



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**Author:** Ippolito  
**Date:** 7/31/2020 9:02:17 AM  
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## Jon Beckham (3)

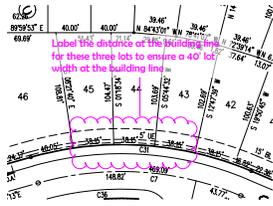


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**Page Label:** [1] 1-Prel Plat  
**Author:** Jon Beckham  
**Date:** 7/24/2020 11:50:40 AM  
**Status:**  
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**Layer:**  
**Space:** Include the previously submitted Tree Survey as a part of this preliminary plat in the next submittal [Sex.6.73(b)(32)]



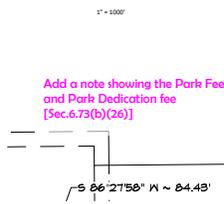
**LEWISVILLE**

Deep Roots. Broad Wings. Bright Future.



**Subject:** Cloud+ Pink  
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**Author:** Jon Beckham  
**Date:** 7/24/2020 11:54:03 AM  
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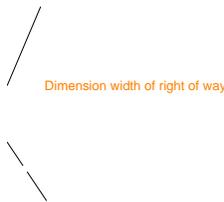
Label the distance at the building line for these three lots to ensure a 40' lot width at the building line



**Subject:** Planning Text Small  
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**Author:** Jon Beckham  
**Date:** 7/24/2020 11:56:00 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Add a note showing the Park Fee and Park Dedication fee [Sec.6.73(b)(26)]

kchearon (1)



**Subject:** Text Box  
**Page Label:** [1] 1-Prel Plat  
**Author:** kchearon  
**Date:** 7/24/2020 8:49:12 AM  
**Status:**  
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**Layer:**  
**Space:**

Dimension width of right of way

## MEMORANDUM

**TO:** Planning and Zoning Commission

**FROM:** Jonathan Beckham, Ugpkt'Planner

**DATE:** August 4, 2020

**SUBJECT:** **PUBLIC HEARING: Consideration of a Special Use Permit for Self Storage/Mini Warehouse; on Approximately 3.57 Acres, Legally Described as Lot 1, Block A, 121 East Addition, Located at 2391 East State Highway 121 Business, Zoned Light Industrial District (LI); as Requested by Arlyn Samuelson, Westwood Professional Services, on behalf of Rick Jones, Advantage 121 Storge LP, the Property Owner. (Case No. 20-04-1-SUP).**

### **BACKGROUND:**

Advantage Self Storage is an existing business located on the north side SH 121 Business near Sam Rayburn Tollway. The property was originally developed in 2006 as a phased development. The first phase was completed, but plans for the second phase have expired. The SUP regulations were adopted in 2013, which required a special use permit (SUP) with all self-storage and mini warehouse businesses. The applicant is now seeking a SUP for this property to complete the second phase of the development and expand the development with three additional self-storage buildings.

### **ANALYSIS:**

#### *Site*

The site includes three existing self-storage buildings fronting SH 121 Business. The applicant is proposing to build three new buildings: one 18,563 square foot building designed to house recreations vehicles, one 1,600 square-foot building, and one 3,850 square foot building. All proposed buildings are not climate controlled. Each building will meet the 80% brick and stone building materials, matching the exiting buildings on site.

#### *Landscaping*

The site meets Lewisville's landscape requirements for street trees, parking lot trees and shrubs. As a part of this SUP, the applicant is planting three additional Crepe Myrtles on the northern boundary of the site and two Southern Live Oaks on the eastern portion of the site.

#### *Signage*

No new signage is proposed. Existing building signage will remain. A non-conforming monument sign is being removed from the right of way easement on the western portion of the site.

*Variance*

Two variance are proposed in conjunction with this SUP:

- a. To allow pavement in the easement for the existing 24" water main

Section 6-98(d)(2) of the General Development Ordinance requires that all public water lines outside of a street or utility right-of-way shall be placed in a 15-foot wide grass-only water line easement. The 24-inch water transmission line is within a 30-ft water line easement which is currently paved. This variance was approved by City Council in 2006 with the previous Engineering Site Plan. As a condition for this variance request, the owner will be responsible for any and all pavement repairs required due to maintenance or repair of the City water main performed by City crews or City's contractor. Staff has no objection to the variance request.

- b. To allow the removal of the 10' continuous loading zone surrounding Building E.

Section 6-162(27)a. of the General Development Ordinance requires a ten-foot parallel loading or unloading lane be provided around all non-climate controlled self-storage buildings in addition to the required fire lane. Building E is used to house recreation vehicles/boats and no parallel parking is proposed immediately adjacent to this building. The applicant is proposing a six-foot space between the building and the fire lane which will aid in maneuvering. In addition, the ten-foot parallel loading area is present on the opposite side of the fire lane. Staff has no objection to this request.

*Summary*

Advantage Storage is proposing to expand its current operation with the addition of three new storage buildings. The applicant is providing enhanced building materials and planting additional trees on site. Two variances are required in conjunction with this SUP.

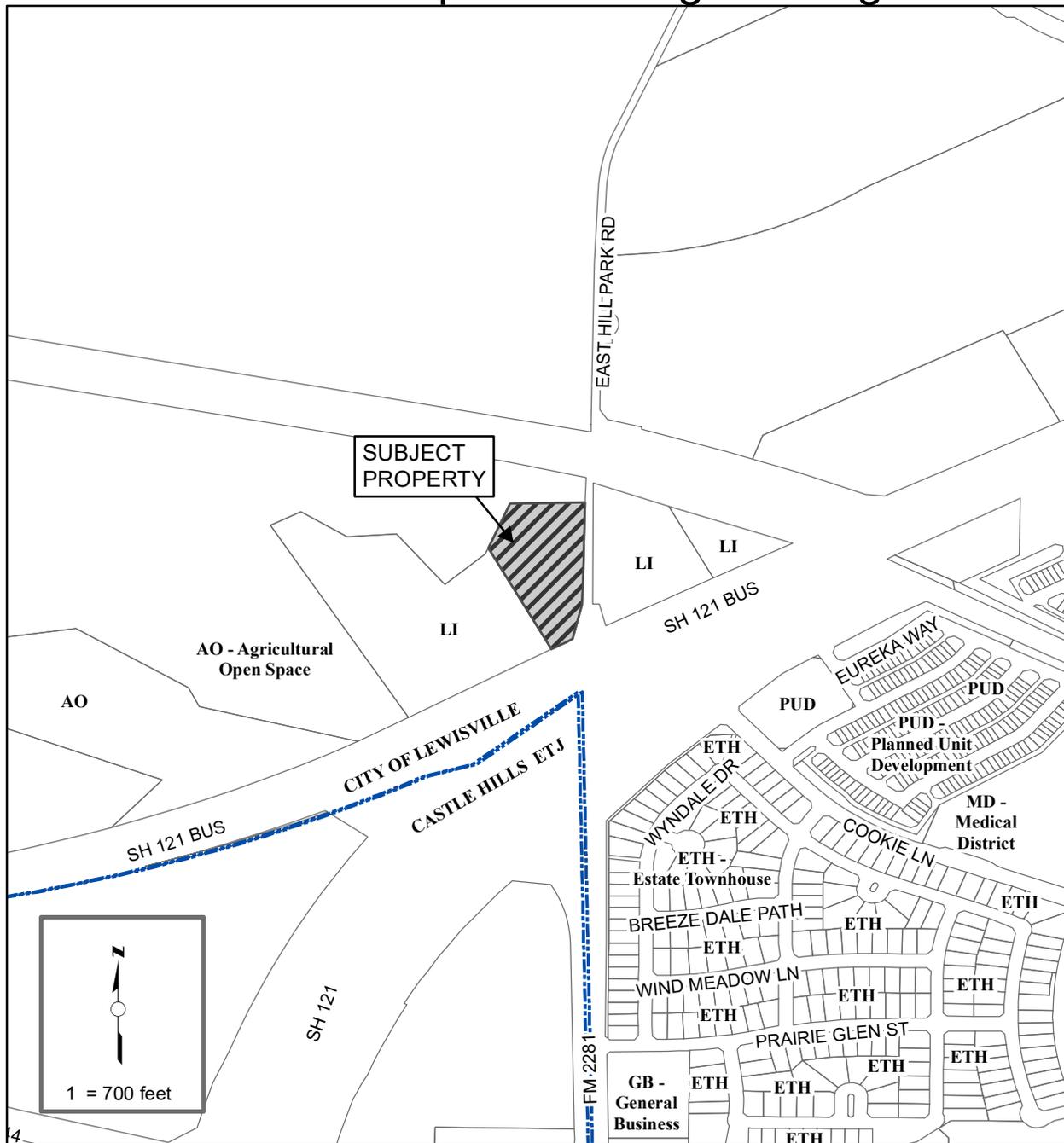
**RECOMMENDATION:**

It is City staff's recommendation that the Planning and Zoning Commission recommend approval of the special use permit for self storage/mini warehouses and the two associated variances.

# Aerial Map - Advantage Storage



# Location Map - Advantage Storage



**CASE NO. 20-04-1-SUP**

**PROPERTY OWNER:**

RICK JONES, ADVANTAGE 121 STORAGE LP

**APPLICANT:**

ARLYN SAMUELSON, WESTWOOD PROFESSIONAL SERVICES

**PROPERTY LOCATION:**

LOT 1, BLOCK A, 121 EAST ADDITION (3.57-ACRES) 2391 EAST STATE HIGHWAY 121 BUSINESS

**CURRENT ZONING:**

LIGHT INDUSTRIAL DISTRICT (LI)

**REQUESTED USE:**

SPECIAL USE PERMIT FOR A SELF STORAGE/MINI WAREHOUSE FACILITY



LEWISVILLE

Deep Roots. Broad Wings. Bright Future.

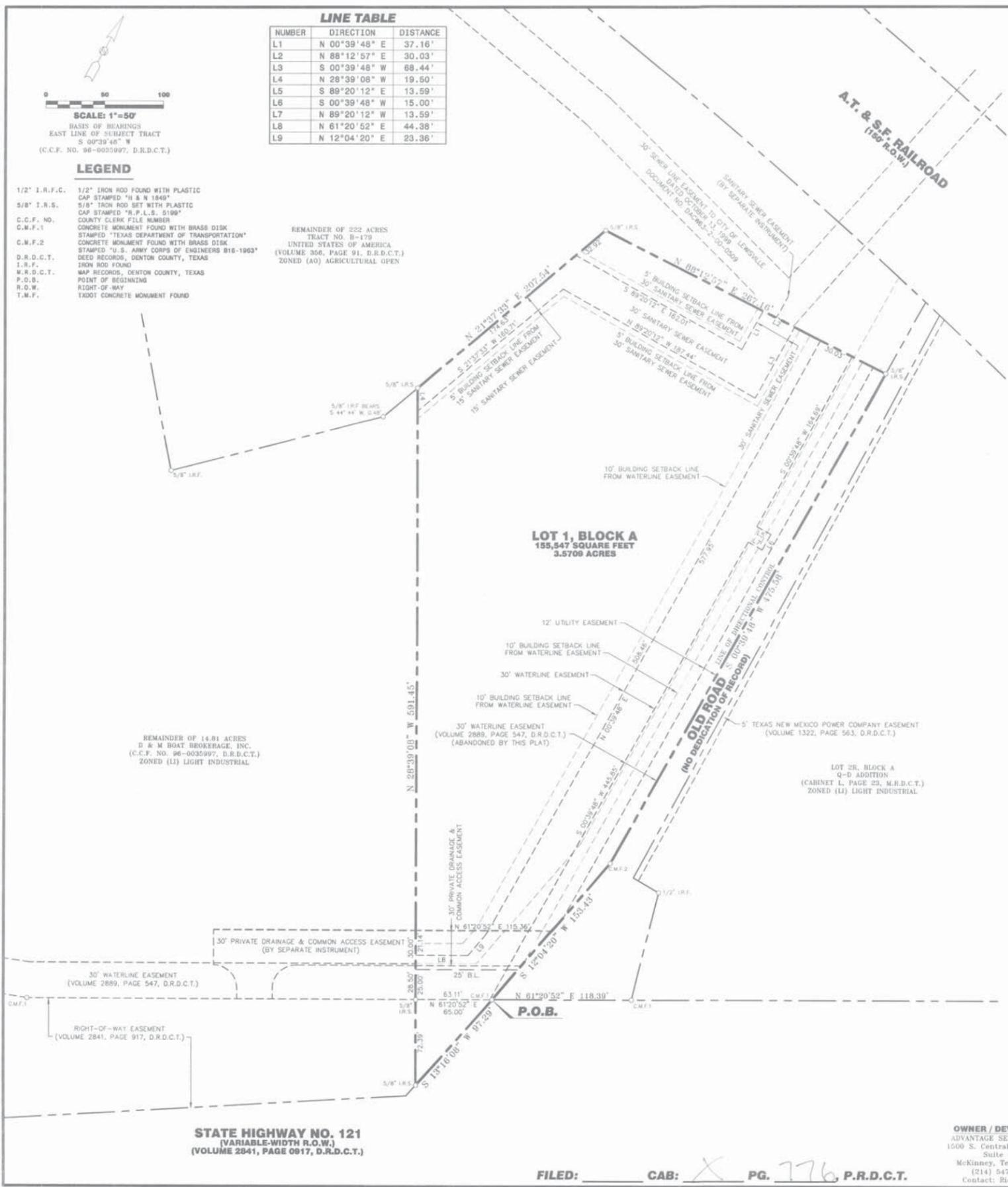
**REQUIRED:**

**Fully describe the plans for the property**

The project is an expansion of an existing self-storage facility. The expansion was part of the original plan approved in the early 2000s. The original plan was for the second phase of the project to include a second 2-story building with climate-controlled units. Market conditions have not supported that concept, so the current plan is for the addition of three single-story buildings containing 24,013 SF. The largest, center building is designed for fully enclosed RV and boat units, and the two perimeter buildings are non-climate controlled drive-up units. The expansion is on the back side of the existing facility and is accessed through the existing drive and tenant only controlled gate. Improvements include Lewisville planning staff recommended landscape areas, six trees and provisions for a front sidewalk. Rental and management of the units will be conducted through the existing office.

**NOTE:**

Items must be staff approved and deemed complete before they will be placed on an agenda.



**LINE TABLE**

NUMBER	DIRECTION	DISTANCE
L1	N 00°39'48" E	37.16'
L2	N 88°12'57" E	30.03'
L3	S 00°39'48" W	88.44'
L4	N 28°39'08" W	19.50'
L5	S 89°20'12" E	13.59'
L6	S 00°39'48" W	15.00'
L7	N 89°20'12" W	13.59'
L8	N 61°20'52" E	44.38'
L9	N 12°04'20" E	23.36'

**LEGEND**

1/2" I.R.F.C. 1/2" IRON ROD FOUND WITH PLASTIC CAP STAMPED "H & N 1849"

5/8" I.R.S. 5/8" IRON ROD SET WITH PLASTIC CAP STAMPED "R.P.L.S. 5199"

C.C.F. NO. COUNTY CLERK FILE NUMBER

C.M.F.1 CONCRETE MONUMENT FOUND WITH BRASS DISK STAMPED "TEXAS DEPARTMENT OF TRANSPORTATION"

C.M.F.2 CONCRETE MONUMENT FOUND WITH BRASS DISK STAMPED "U.S. ARMY CORPS OF ENGINEERS 816-1963"

D.R.D.C.T. DEED RECORDS, DENTON COUNTY, TEXAS

I.R.F. IRON ROD FOUND

M.R.D.C.T. MAP RECORDS, DENTON COUNTY, TEXAS

P.O.B. POINT OF BEGINNING

R.O.W. RIGHT-OF-WAY

T.M.F. TADPOD CONCRETE MONUMENT FOUND

REMAINDER OF 222 ACRES TRACT NO. B-179 UNITED STATES OF AMERICA (VOLUME 304, PAGE 91, D.R.D.C.T.) ZONED (AO) AGRICULTURAL OPEN

REMAINDER OF 14.81 ACRES D & M BOAT BROKERAGE, INC. (C.C.F. NO. 96-0035997, D.R.D.C.T.) ZONED (LI) LIGHT INDUSTRIAL

LOT 2R, BLOCK A Q-D ADDITION (CABINET L PAGE 23, M.R.D.C.T.) ZONED (LI) LIGHT INDUSTRIAL

STATE HIGHWAY NO. 121 (VARIABLE-WIDTH R.O.W.) (VOLUME 2841, PAGE 0917, D.R.D.C.T.)

**LEGAL DESCRIPTION**

WHEREAS Advantage 121 Storage, LP is the owner of a tract of land situated in the B.B.B. AND C.R.R. Company Survey, Abstract No. 180, in the City of Lewisville, Denton County, Texas, and being all of a 3,5709 acre tract of land conveyed to Advantage 121 Storage, LP according to the deeds filed for record in County Clerk's File Numbers 2006-21550 and 2006-21551, Deed Records, Denton County, Texas, and being more particularly described by metes and bounds as follows:

**BEGINNING** at a concrete monument found with brass disk stamped "Texas Department of Transportation" in the northerly line of a right of way easement for State Highway No. 121 (variable-width right of way) recorded in Volume 2841, Page 0917, Deed Records, Denton County, Texas, and lying in the westerly line of an old road for which no dedication could be found;

**THENCE**, along the common line of said 14.81 acre tract and said road, South 13 degrees, 16 minutes, 08 seconds West, a distance of 97.29 feet to a 5/8" iron rod set with red plastic cap stamped "R.P.L.S. 5199";

**THENCE**, departing said common line, North 28 degrees, 39 minutes, 08 seconds West, a distance of 591.45 feet to a 5/8" iron rod set with red plastic cap stamped "R.P.L.S. 5199", lying in the northerly line of said 14.81 acre tract, and the southerly line of the remainder of a 222 acre tract of land conveyed to the United States of America as Tract No. B-179 according to the deed recorded in Volume 304, Page 91, Deed Records, Denton County, Texas;

**THENCE**, along the common line of said 14.81 acre tract and said remainder tract, North 21 degrees, 37 minutes, 33 seconds East, a distance of 207.54 feet to a 5/8" iron rod set with red plastic cap stamped "R.P.L.S. 5199";

**THENCE**, continuing along said common line, North 88 degrees, 12 minutes, 57 seconds East, a distance of 267.16 feet to a 5/8" iron rod set with red plastic cap stamped "R.P.L.S. 5199", lying in the westerly line of said old road;

**THENCE**, along the common line of said 14.81 acre tract and said old road, South 00 degrees, 39 minutes, 48 seconds West, a distance of 475.58 feet to a concrete monument found with brass disk stamped "U.S. Army Corps of Engineers 816-1963";

**THENCE**, continuing along said common line, South 12 degrees, 04 minutes, 20 seconds West, a distance of 153.43 feet to the **POINT OF BEGINNING** and containing 155,547 square feet or 3.5709 acres of land, more or less.

**OWNERS CERTIFICATE OF DEDICATION**

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS;

That Advantage 121 Storage, LP, does hereby adopt this Amended Final plat designating the herein above described property as 121 EAST ADDITION, an addition to the City of Lewisville, Denton County, Texas, and does hereby dedicate to the public use forever the streets and alleys shown hereon; and does hereby dedicate the easement strips shown on the plat for mutual use and accommodation of the City of Lewisville and all public utilities desiring to use, or using same. No buildings, fences, trees, shrubs, signs, or other improvements shall be constructed or placed upon, over, or across the easement strips on said plat. The City of Lewisville and any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, signs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on any of these easement strips, and the City of Lewisville and any public utility shall at all times have the right of ingress and egress to and from and upon any of said easement strips for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or part of its respective system without the necessity at any time of procuring the permission of anyone. A blanket easement of a five (5) foot radius from the center point of all fire hydrants and a five (5) foot radius from the center point of all other appurtenances (fire hydrant valves, water meters, meter boxes, street lights) is hereby granted to the City of Lewisville for the purpose of constructing, reconstructing, inspecting and maintaining the above named appurtenances.

We do further dedicate, subject to the exceptions and reservations set forth hereinafter, to the public use forever, all public use spaces shown on the face of the plat.

All lots in the subdivision shall be sold and developed subject to the building lines shown on the plat.

Richard A. Jones, President  
Advantage Self Storage, Inc., Manager  
Advantage 121 Storage, I, L.L.C., General Partner  
Advantage 121 Storage, LP

Steve Jones, President  
Bank of Texas, N.A.-Sherman

STATE OF TEXAS  
COUNTY OF COLLIN

BEFORE me, the undersigned authority, a Notary Public for the State of Texas, on this day personally appeared Richard A. Jones, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the 22 day of May, 2007.

Susan Parker  
Notary Public, State of Texas

STATE OF TEXAS  
COUNTY OF COLLIN

BEFORE me, the undersigned authority, a Notary Public for the State of Texas, on this day personally appeared Steve Jones, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the 22 day of May, 2007.

Millie O'Lone  
Notary Public, State of Texas

**SURVEYOR'S CERTIFICATE**

I, Douglas S. Loomis, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I have prepared this plat from an actual on the ground survey of the land, and the monuments shown hereon were found and/or placed under my personal supervision in accordance with the platting rules and regulations of the City Plan Commission of the City of Lewisville, Texas.

Douglas S. Loomis  
Registered Professional Land Surveyor No. 5199

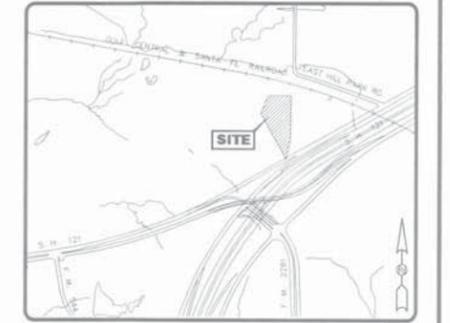
All Variances (if any) from the General Development Ordinance approved by City Council.

Ron Aljoe  
Chairman, Planning & Zoning Commission  
City of Lewisville, Texas

The undersigned, Julie Heinze, the City Secretary of the City of Lewisville, Texas, hereby certifies that the foregoing Amended Final plat of 121 EAST ADDITION, an Addition to the City of Lewisville was submitted to the appropriate Planning and Zoning Commission or City Council as required by the ordinances of the City of Lewisville on the 22 day of May, 2007, and such body by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public places and water and sewer lines, as shown and set forth in and upon said plat, and said body further authorized the acceptance thereof by signing as herein above subscribed in the capacity stated.

Witness by hand this the 11 day of June, 2007.

Julie Heinze, City Secretary  
City of Lewisville, Texas



AMENDED FINAL PLAT  
THIS PLAT IS AMENDING 121 EAST ADDITION FINAL PLAT, WHICH WAS FILED ON 06/29/06 AND CAN BE FOUND IN CABINET X PAGE 153 OF THE DENTON COUNTY DEED RECORDS WITH THE FOLLOWING CHANGES:

1. RELOCATION OF 25' SANITARY SEWER EASEMENT
2. MODIFIED OFFSITE SANITARY SEWER EASEMENT

**121 EAST ADDITION**  
**LOT 1, BLOCK A**  
3.5709 ACRES  
ZONED (LI) LIGHT INDUSTRIAL

out of  
B.B.B. & C.R.R. CO. SURVEY, ABSTRACT No. 180  
CITY OF LEWISVILLE, DENTON COUNTY, TEXAS

**OWNER / DEVELOPER:**  
ADVANTAGE SELF STORAGE  
1600 S. Central Expressway  
Suite 620  
McKinney, Texas 75070  
(214) 544-8880  
Contact: Rick Jones

**ENGINEER:**  
POGUE ENGINEERING & DEVELOPMENT CO., INC.  
1515 Heritage Dr., Suite 105  
McKinney, Texas 75069  
(214) 544-8880  
Contact: Arlyn Samuelson, P.E.

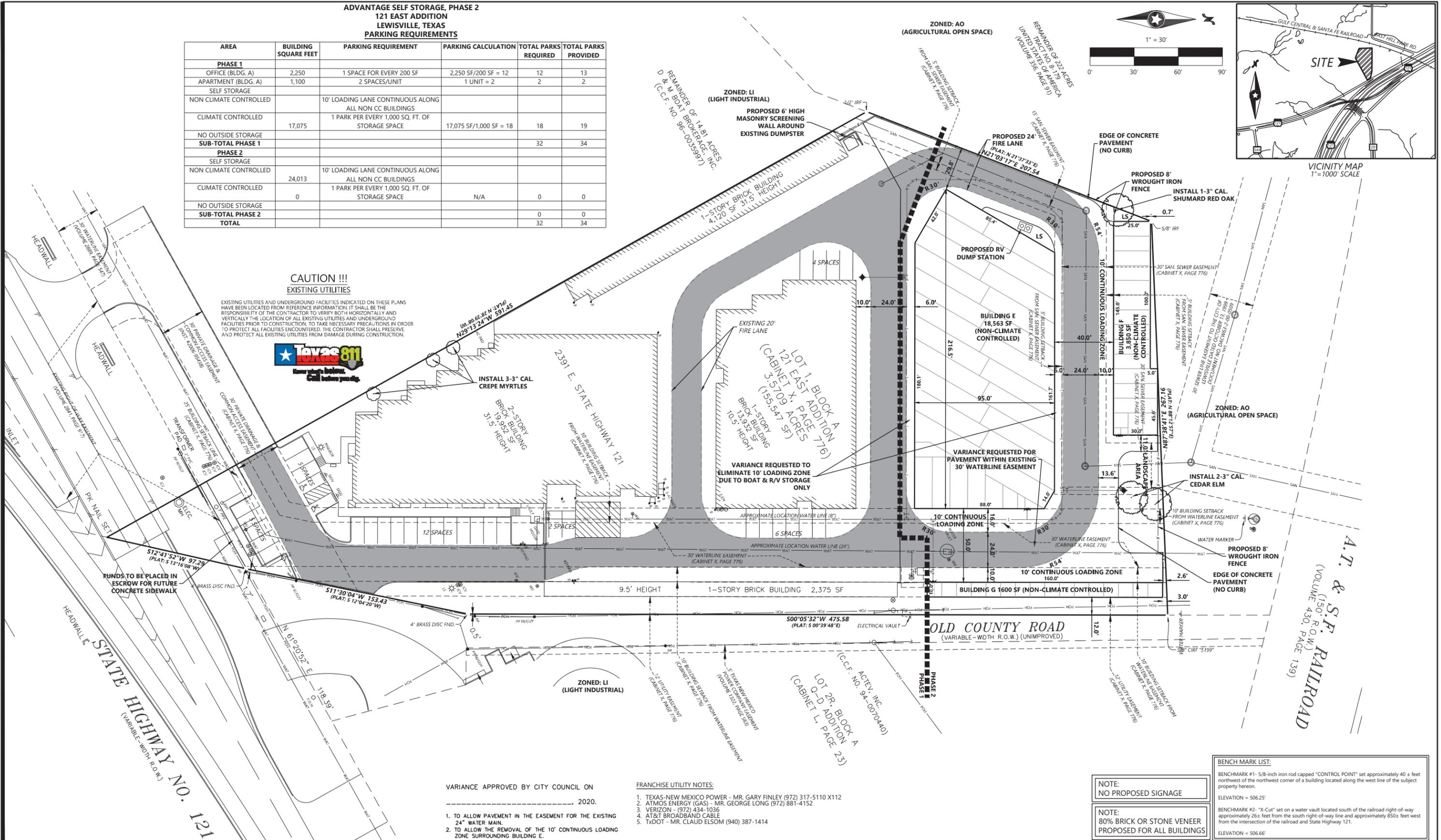
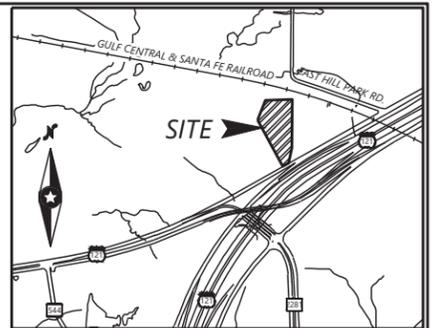
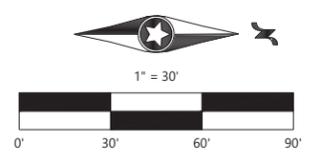
**PROJECT INFORMATION**  
Date of Survey: 09/30/2005  
Date of Drawing: 05/21/2007  
Job Number: 05101161  
Drawn By: J.L.B.  
File: Amending Plat.Dwg  
**SHEET 1 OF 1**

**SCI**  
Survey Consultants, Inc.  
811 E. Plano Parkway  
Suite 117  
Plano, Texas 75074  
(972) 424-7002 Voice  
(972) 633-1702 Fax  
WWW.SurveyConsultantsInc.com

FILED: CAB: X PG. 776, P.R.D.C.T.

ADVANTAGE SELF STORAGE, PHASE 2  
121 EAST ADDITION  
LEWISVILLE, TEXAS  
PARKING REQUIREMENTS

AREA	BUILDING SQUARE FEET	PARKING REQUIREMENT	PARKING CALCULATION	TOTAL PARKS REQUIRED	TOTAL PARKS PROVIDED
<b>PHASE 1</b>					
OFFICE (BLDG. A)	2,250	1 SPACE FOR EVERY 200 SF	2,250 SF/200 SF = 12	12	13
APARTMENT (BLDG. A)	1,100	2 SPACES/UNIT	1 UNIT = 2	2	2
SELF STORAGE					
NON CLIMATE CONTROLLED		10' LOADING LANE CONTINUOUS ALONG ALL NON CC BUILDINGS			
CLIMATE CONTROLLED	17,075	1 PARK PER EVERY 1,000 SQ. FT. OF STORAGE SPACE	17,075 SF/1,000 SF = 18	18	19
NO OUTSIDE STORAGE					
<b>SUB-TOTAL PHASE 1</b>				<b>32</b>	<b>34</b>
<b>PHASE 2</b>					
SELF STORAGE					
NON CLIMATE CONTROLLED	24,013	10' LOADING LANE CONTINUOUS ALONG ALL NON CC BUILDINGS			
CLIMATE CONTROLLED		1 PARK PER EVERY 1,000 SQ. FT. OF STORAGE SPACE	N/A	0	0
NO OUTSIDE STORAGE	0			0	0
<b>SUB-TOTAL PHASE 2</b>				<b>0</b>	<b>0</b>
<b>TOTAL</b>				<b>32</b>	<b>34</b>



**CAUTION !!!**  
EXISTING UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION. TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



VARIANCE APPROVED BY CITY COUNCIL ON \_\_\_\_\_ 2020.

- TO ALLOW PAVEMENT IN THE EASEMENT FOR THE EXISTING 24" WATER MAIN.
- TO ALLOW THE REMOVAL OF THE 10' CONTINUOUS LOADING ZONE SURROUNDING BUILDING E.

FRANCHISE UTILITY NOTES:

- TEXAS-NEW MEXICO POWER - MR. GARY FINLEY (972) 317-5110 X112
- ATMOS ENERGY (GAS) - MR. GEORGE LONG (972) 881-4152
- VERIZON - (972) 434-1036
- AT&T BROADBAND CABLE
- TXDOT - MR. CLAUD ELSOM (940) 387-1414

NOTE:  
NO PROPOSED SIGNAGE

NOTE:  
80% BRICK OR STONE VENEER PROPOSED FOR ALL BUILDINGS

**BENCHMARK LIST:**

BENCHMARK #1- 5/8-inch iron rod capped "CONTROL POINT" set approximately 40 ± feet northwest of the northwest corner of a building located along the west line of the subject property hereon.  
ELEVATION = 506.25'

BENCHMARK #2- "X-Cut" set on a water vault located south of the railroad right-of-way approximately 26± feet from the south right-of-way line and approximately 850± feet west from the intersection of the railroad and State Highway 121.  
ELEVATION = 506.66'

DESIGNED: \_\_\_\_\_  
CHECKED: \_\_\_\_\_  
DRAWN: \_\_\_\_\_  
HORIZONTAL SCALE: 30'  
VERTICAL SCALE: 6' OR 3'

INITIAL ISSUE: 07-20-2020  
REVISIONS: \_\_\_\_\_

PREPARED FOR:  
**ADVANTAGE STORAGE**  
2221 LAKESIDE BLVD, SUITE 1260  
RICHARDSON, TX 75082  
CONTACT: MR. RICK JONES  
PHONE: (972) 547-0236

FOR INTERIM REVIEW ONLY  
NOT TO BE USED FOR  
CONSTRUCTION OR  
BIDDING PURPOSES.  
Engineer: **ARLYN W. SAMUELSON P.E.**  
P.E. No.: 98871  
Date: 07-20-2020  
**Westwood**

**ADVANTAGE SELF STORAGE**  
**BUSINESS S.H. 121, PHASE 2**  
CITY OF LEWISVILLE, TEXAS

**Westwood**  
Phone (214) 473-4640 2740 Dallas Parkway, Suite 280  
TollFree (888) 937-5150 Plano, TX 75093  
westwoodps.com  
Westwood Professional Services, Inc.  
TPEL FIRM REGISTRATION NO. F-11736  
TPELS FIRM REGISTRATION NO. 10074301  
CONTACT: ARLYN W. SAMUELSON, P.E.

**SUP DEVELOPMENT PLAN**  
**ADVANTAGE SELF STORAGE BUSINESS S.H. 121**  
121 EAST ADDITION  
BLOCK A, LOT 1, PHASE 2  
3.5709 ACRE TRACT  
ZONED LI

SHEET NUMBER:  
**C1.01**  
DATE: 07-20-2020

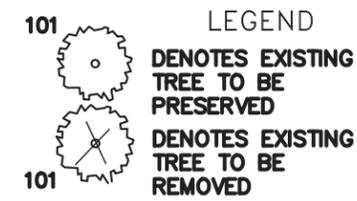
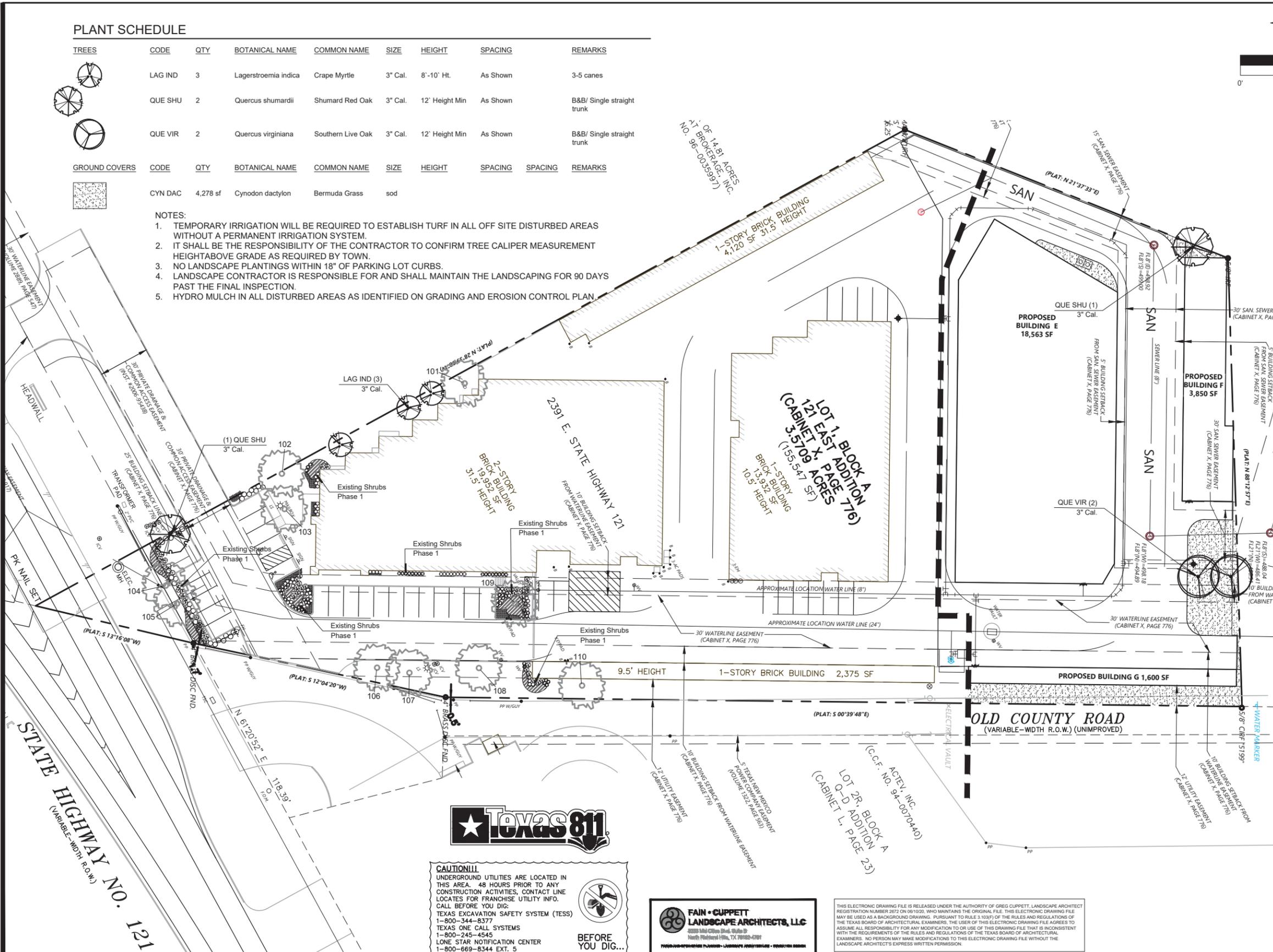
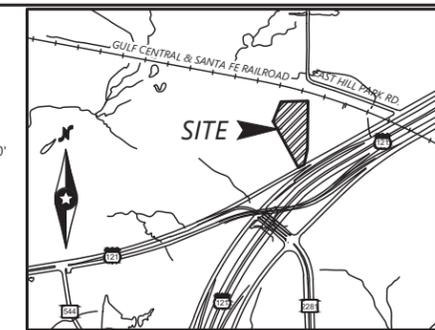
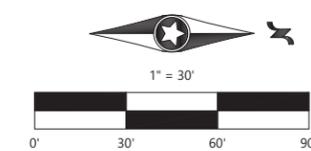
**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS
	LAG IND	3	Lagerstroemia indica	Crape Myrtle	3" Cal.	8'-10' Ht.	As Shown	3-5 canes
	QUE SHU	2	Quercus shumardii	Shumard Red Oak	3" Cal.	12' Height Min	As Shown	B&B/ Single straight trunk
	QUE VIR	2	Quercus virginiana	Southern Live Oak	3" Cal.	12' Height Min	As Shown	B&B/ Single straight trunk

GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS
	CYN DAC	4,278 sf	Cynodon dactylon	Bermuda Grass	sod			

**NOTES:**

- TEMPORARY IRRIGATION WILL BE REQUIRED TO ESTABLISH TURF IN ALL OFF SITE DISTURBED AREAS WITHOUT A PERMANENT IRRIGATION SYSTEM.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM TREE CALIPER MEASUREMENT HEIGHT ABOVE GRADE AS REQUIRED BY TOWN.
- NO LANDSCAPE PLANTINGS WITHIN 18" OF PARKING LOT CURBS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR AND SHALL MAINTAIN THE LANDSCAPING FOR 90 DAYS PAST THE FINAL INSPECTION.
- HYDRO MULCH IN ALL DISTURBED AREAS AS IDENTIFIED ON GRADING AND EROSION CONTROL PLAN.



**TREE SURVEY**

CAL.	SPECIES	COMMENT	
101	3	Red Oak	Preserve
102	3	Red Oak	Preserve
103	3	Red Oak	Preserve
104	3	Live Oak	Preserve
105	3	Live Oak	Preserve
106	4	Live Oak	Preserve
107	4	Live Oak	Preserve
108	3	Red Oak	Preserve
109	4	Live Oak	Preserve
110	4	Live Oak	Preserve

**LEWISVILLE LANDSCAPE REQUIREMENTS**

AREA	REQUIREMENT	PROVIDED
LANDSCAPING BUFFER	A 10' LANDSCAPE BUFFER ADJACENT TO PUBLIC STREET	
TREE REQUIREMENT FOR BUFFER STRIP	ONE (2.5") SHADE TREE REQUIRED/500 SF OF BUFFER STRIP	
	REQUIRED: 650/500 = (2) 3" TREES	PROVIDED: 2 TREES FROM PHASE I (EXISTING)
PARKING LOT TREES	ONE 2.5" TREE PER 15 PARKING SPACES	
	REQUIRED: 34 SPACES/15 = (3) 3" TREES	PROVIDED: 3 TREES PHASE
PARKING LOT INTERIOR LANDSCAPING	5% OF PARKING LOT SHALL HAVE LANDSCAPING	
	REQUIRED: 11,700 SF X 5% = 585 SF	PROVIDED: 1,125 SF



**CAUTION!!!**  
UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG:  
TEXAS EXCAVATION SAFETY SYSTEM (TESS) 1-800-344-8377  
TEXAS ONE CALL SYSTEMS 1-800-245-4545  
LONE STAR NOTIFICATION CENTER 1-800-669-8344 EXT. 5

**FAIN • CUPPETT LANDSCAPE ARCHITECTS, LLC**  
2000 Mid-Century Blvd., Suite 500  
North Richland Hills, TX 76182-4707  
PHONE: 817-281-1111 FAX: 817-281-1112

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREG CUPPETT, LANDSCAPE ARCHITECT REGISTRATION NUMBER 2672 ON 06/10/20, WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING. PURSUANT TO RULES 5.103(F) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

- PARKING LOT SCREENED FROM R.O.W. (EXISTING FROM PHASE 1)
- SITE WILL BE IRRIGATED BY AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM COMPLETE WITH RAIN AND FREEZE SENSOR. SYSTEM TO BE DESIGNED AND INSTALLED BY LICENSED TEXAS IRRIGATOR.
- IN CASE OF CONFLICT WITH OTHER NOTES OR SPECIFICATIONS, CITY REQUIREMENTS OVERRULE.

**TREE PRESERVATION/ LANDSCAPE PLAN**

DESIGNED:	INITIAL ISSUE: 04-07-2020
CHECKED:	REVISIONS:
DRAWN:	
HORIZONTAL SCALE: ###	
VERTICAL SCALE: ## OR ##	
PROJECT NUMBER:	

PREPARED FOR:  
**ADVANTAGE SELF STORAGE**  
2221 LAKESIDE BOULEVARD #1260  
RICHARDSON, TEXAS 75082  
CONTACT: MR. RICK JONES  
PHONE: (972) 547-0236



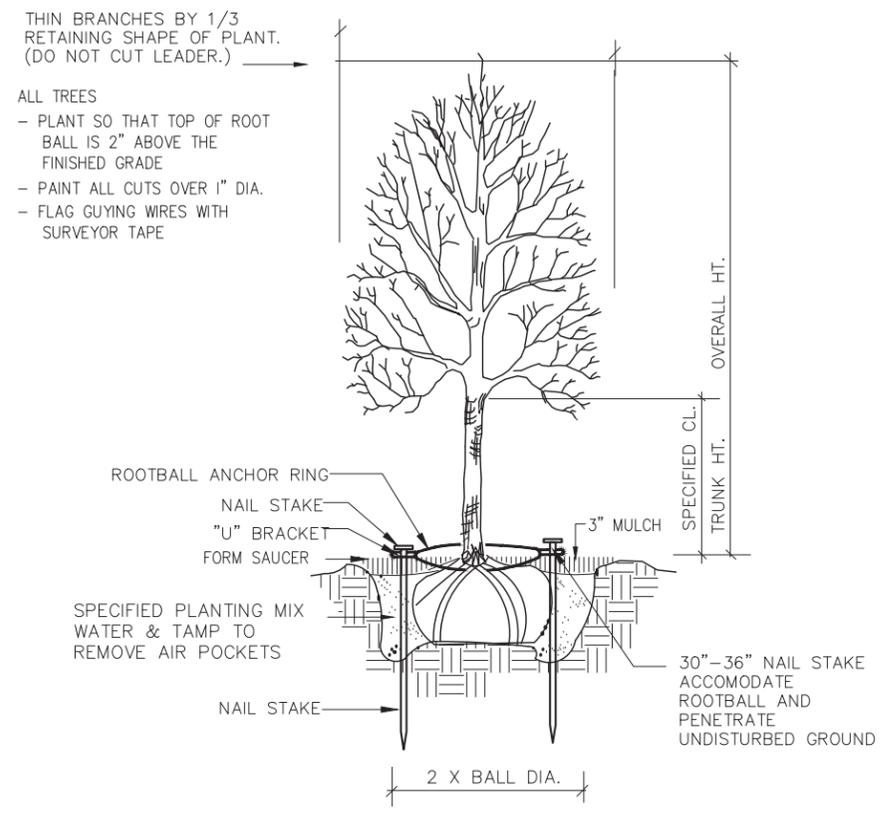
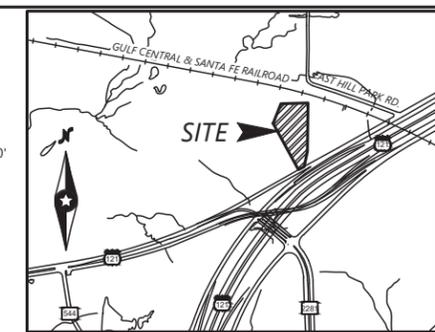
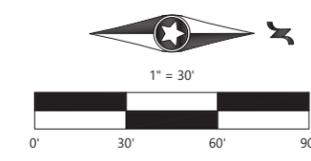
**ADVANTAGE SELF STORAGE BUSINESS S.H. 121, PHASE 2**  
CITY OF LEWISVILLE, TEXAS

**Westwood**  
Phone (214) 473-4640 2740 Dallas Parkway, Suite 280  
Toll Free (888) 937-5150 Plano, TX 75093  
www.westwood.com  
Westwood Professional Services, Inc.  
TERRA FIRM REGISTRATION NO. F-11736  
TERRA FIRM REGISTRATION NO. 10074301  
CONTACT: ARLYN W. SAMUELSON, P.E.

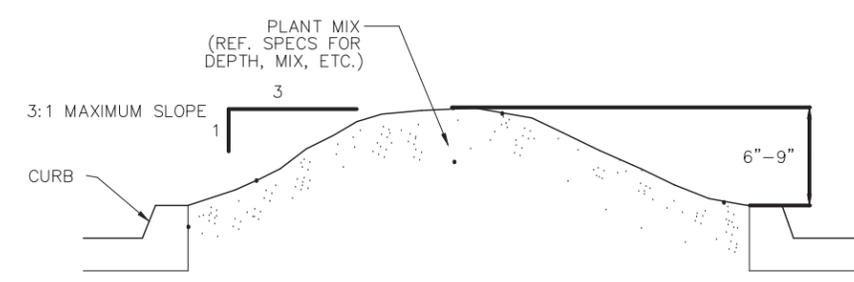
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BLOCK A, LOT 1, PHASE 2  
3.5709 ACRE TRACT  
ZONED LI

SHEET NUMBER:  
**L-1**  
DATE: 06-10-20

Contact Information:  
**TREE STAKE SOLUTIONS**  
 www.treestakesolutions.com  
**JEFF TULEY**  
 903-676-6143



**SAFETY STAKE BY TREE STAKE SOLUTIONS**  
 SCALE: NOT TO SCALE



**TYPICAL PARKING LOT ISLAND MOUNDING**  
 SCALE: NOT TO SCALE

**PLANTING NOTES:**

1. PLANT SIZE, TYPE, AND CONDITION SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
2. ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK.
3. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL PROJECT ACCEPTANCE.
4. ALL CONTAINER GROWN PLANTS TO HAVE FULL, VIGOROUS ROOT SYSTEM, COMPLETELY ENCOMPASSING CONTAINER.
5. ALL PLANTS WELL ROUNDED AND FULLY BRANCHED. ALL TREES WITH SPREAD 2/3 OF HEIGHT.
6. CONTRACTOR TO PROVIDE OWNER WITH PREFERRED MAINTENANCE SCHEDULE OF ALL PLANTS AND LAWNS.
7. MAINTAIN/PROTECT VISIBILITY TRIANGLE WITH PLANT MATERIAL PER CITY STANDARDS AT ALL ENTRANCES TO SITE.
8. PREP ENTIRE WIDTH OF ALL DEFINED PLANTING BEDS WITH MIX AS OUTLINED IN SPECS. WHERE SHRUBS ARE LOCATED ALONG CURB, SET SHRUBS BACK FROM CURB 3 FT.
9. SEE DETAIL SHEET FOLLOWING FOR PLANTING DETAILS.
10. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO TELEPHONE, TELECABLE, ELECTRIC, GAS, WATER AND SEWER. ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER.
11. EXISTING TREES ARE SHOWN TO REMAIN. CONTRACTOR SHALL PRUNE ONLY ON APPROVAL OF CITY ARBORIST. WORK TO INCLUDE REMOVAL OF ALL SUCKER GROWTH; DEAD AND DISEASED BRANCHES AND LIMBS; VINES, BRIARS AND OTHER INVASIVE GROWTH; AND ALL INTERFERING BRANCHES. MAKE ALL CUTS FLUSH TO REMAINING LIMB. RETAIN NATURAL SHAPE OF PLANT. ALL WORK SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
12. QUANTITIES ARE PROVIDED AS A COURTESY AND NOT INTENDED FOR BID PURPOSES. CONTRACTOR TO VERIFY PRIOR TO PRICING.
13. INSTALL EDGING BETWEEN LAWN AND PLANTING BEDS. REFER TO SPECIFICATIONS. FILE ALL CORNERS SMOOTH.
14. INSTALL CURLEX BLANKET (OR EQUAL) PER MANUFACTURERS INSTRUCTIONS ON ALL GROUNDCOVER/SHRUB BEDS WITH A SLOPE OF 4:1 OR GREATER.
15. AT TIME OF PLAN PREPARATION, SEASONAL PLANT AVAILABILITY CANNOT BE DETERMINED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE AND RESERVE ALL B&B PLANTS WHEN AVAILABLE IN CASE ACTUAL INSTALLATION OCCURS DURING THE OFF-SEASON. PURCHASE AND HOLD B&B PLANTS FOR LATE SEASON INSTALLATION.
16. BERM ALL PARKING LOT ISLANDS AS SHOWN ON ENCLOSED DETAIL SHEET. (BERMS MAY NOT BE SHOWN ON GRADING PLAN.)
17. PRIOR TO PLANTING, CONTRACTOR SHALL STAKE TREE LOCATIONS FOR OWNER APPROVAL.

**PLANTING DETAILS**

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ADVANTAGE SELF STORAGE BUSINESS S.H. 121, PHASE 2



THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREG CUPPET, LANDSCAPE ARCHITECT REGISTRATION NUMBER 2872 ON 06/10/20, WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING. PURSUANT TO RULES 103(F) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

DESIGNED: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_  
 HORIZONTAL SCALE: ###  
 VERTICAL SCALE: ## OR ##  
 PROJECT NUMBER: \_\_\_\_\_

INITIAL ISSUE: 04-07-2020  
 REVISIONS: \_\_\_\_\_  
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 \_\_\_\_\_  
 \_\_\_\_\_

PREPARED FOR:  
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 2221 LAKESIDE BOULEVARD #1260  
 RICHARDSON, TEXAS 75082  
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**ADVANTAGE SELF STORAGE  
 BUSINESS S.H. 121, PHASE 2**  
 CITY OF LEWISVILLE, TEXAS

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 CONTACT: ARLYN W. SAMUELSON, P.E.

**SUP DEVELOPMENT PLAN**  
 ADVANTAGE SELF STORAGE BUSINESS S.H. 121  
 121 EAST ADDITION  
 BLOCK A, LOT 1, PHASE 2  
 3.5709 ACRE TRACT  
 ZONED LI

SHEET NUMBER:  
**L-2**  
 DATE: 06-10-20

SECTION 02830

TREES, SHRUBS, AND GROUNDCOVERS

PART I GENERAL

1.01 DESCRIPTION OF WORK

A. Scope

1. Bed prep
2. Metal edging
3. Topsoil
4. Planting
5. Mulching
6. Guarantee

B. Related Work Specified Elsewhere

1. General Requirements – All locations
2. Section 02740 – Irrigation Trenching
3. Section 02750 – Irrigation
4. Section 02800 - Lawns

1.02 QUALITY ASSURANCE

A. Contractor Qualifications

Minimum of three (3) years experience on projects of similar characteristics and size.

B. Reference Standards:

1. American Joint Committee Of Horticultural Nomenclature: Standardized Plant Names, Second Edition, 1942.
2. American Association Of Nurserymen: American Standard For Nursery Stock, 1973

C. Substitutions

1. Substitutions accepted only upon written approval of Landscape Architect and Owner.
2. Submit substitutions possessing same characteristics as indicated on plans and specifications.

D. Inspection and Testing

1. The project Owner's representative reserves the right to inspect and tag plants at the place of growth with the Contractor.
2. Inspection at place of growth does not preclude the right of rejection due to improper digging or handling.
3. Owner's representative reserves the right to request soil samples and analysis of soil and plant mix. Remove or correct unacceptable soil. Cost of testing by Contractor.

1.03 SUBMITTALS

A. Certificates

1. Submit State and Federal certificates of inspection with invoice. (Only if required by Landscape Architect.)
2. File certificates with Owner's representative prior to material acceptance.

1.04 PRODUCT DELIVERY, STORAGE, & HANDLING

A. Preparation of Delivery

1. Balled & Burlaped (B&B) Plants
  - a. Dig and prepare for shipment in manner that will not damage roots, branches, shape, and future development after replanting.
  - b. Ball with firm, natural ball of soil, wrapped tightly with burlap covering entire ball.
  - c. Ball size and ratios: conform to American Association of Nurserymen standards unless otherwise shown on plant list.
2. Pack plant material to protect against climatic & seasonal damage, as well as breakage injuries during transit.
3. Securely cover plant tops with ventilated tarpaulin or canvas to minimize wind-whipping and drying in transit.
4. Pack and ventilate to prevent sweating of plants during transit. Give special attention to insure prompt delivery and careful handling to point of delivery at job site.

B. Delivery

1. Deliver fertilizer, fertilizer tablets, peat, mulch, soil additives, and amendment materials to site in original, unopened containers, bearing manufacturer's guaranteed chemical analysis, name, trade name, trademark, and conformance to State law.
2. Deliver plants with legible identification and size labels on example plants.
3. Protect during delivery to prevent damage to root ball or desiccation of leaves.
4. Notify Owner's representative of delivery schedule in advance so plant material may be inspected upon arrival at job site.
5. Deliver plants to job site only when areas are prepared.

C. Storage

1. Protect roots of plant material from drying or other possible injury with wetted mulch or other acceptable material.
2. Protect from weather.
3. Maintain and protect plant material not to be planted immediately upon delivery.

D. Handling

1. Do not drop plants.
2. Do not damage ball, trunk, or crown.
3. Lift and handle plants from bottom of container or ball.

1.05 JOB CONDITIONS

- A. Planting Season Perform actual planting only when weather and soil conditions are suitable in accordance with locally acceptable practices.
- B. Protection Before excavations are made, take precautionary measures to protect areas trucked over and where soil is temporarily stacked.

1.06 GUARANTEE

- A. Guarantee new plant material for one year after acceptance of final installation (ie. Final Acceptance of project).
- B. Make replacement (one per plant) during one year guarantee period at appropriate season with original plant type, size and planting mixture.
- C. Repair damage to other plants, lawns, & irrigation caused during plant replacement at no cost to Owner.
- D. Use only plant replacements of indicated size and species.

PART II PRODUCTS

2.01 MATERIALS

A. Plant Materials

1. Hardy under climatic conditions similar to locality of project.
2. True to botanical and common name variety.
3. Sound, healthy, vigorous, well branched, and densely foliated when in leaf; with healthy well-developed root system.
4. Free from disease, insects, and defects such as knots, sun-scald, windburn, injuries, disfigurement, or abrasions.
5. Conform to measurements after pruning with branches in normal positions.
6. Conform to American Association of Nurserymen standards unless shown differently on plant list.
7. Trees:
  - a. Single, straight trunks, unless indicated otherwise
  - b. Trees with weak, thin trunks not capable of support will not be accepted.
  - c. All multi-stem trees are to have a minimum of three stems, similar in size and shape, with a spread of approximately 2/3 of the height. All yaupons to be female. Crape myrtle color selection by Landscape Architect.
8. Nursery grown stock only.
9. Subject to approval of Landscape Architect.
10. Seasonal color:
  - a. Annuals in 4" pots or as specified
  - b. Perennials in 4" pots, clumps, bulbs as specified

B. Topsoil

1. Natural, fertile, friable soils having a textural classification of loam or sandy loam possessing characteristics of soils in vicinity which produce heavy growth of crops, grass, or other vegetation.
2. Free of subsoil, brush, organic litter, objectionable weeds, clods, shale, stones 3/4" diameter or larger, stumps, roots or other material harmful to grading, planting, plant growth, or maintenance operations.
3. Presence of vegetative parts of Bermuda grass (Cynodon dactylon), Johnson grass, nut grass (Cyperus rotundus), and other hard to eradicate weeds or grass will be cause for rejection of topsoil.
4. Test topsoil (cost by Contractor):
  - a. Available nitrogen
  - b. Available phosphorus
  - c. Available potash
  - d. Iron
  - e. Ph: 5.5 to 7.0
  - f. Decomposed organic matter: 6-10%

C. Mulch

1. Top Dressing Mulch – Shredded cypress or hard wood only
2. Soil prep – 3 Parts native soil to 1 Part composted landscape mix.
3. In pre-packaged bags only, bulk shredded material is unacceptable

D. Peat Moss Commercially available baled peat moss or approved equivalent.

E. Staking Material

1. Stakes for tree support:
  - a. Construction grade yellow pine, stain brown
  - b. Size as noted on plans
2. Wires:
  - a. Padded with rubber hose to protect tree
  - b. Galvanized
  - c. With galvanized turnbuckle
  - d. Evenly tighten turnbuckles with plant in vertical position.

F. Water

1. Free of oils, acids, alkali, salt, and other substances harmful to plant growth
2. Location: Furnish temporary hoses and connections on site.

G. Sand – Washed builders sand

H. Antidesiccant – "Wilt-proof" or equal.

I. Edging – 3/16" X 4" green, new and unused; with stakes.

2.02 MIXES

A. Planting Mixture

1. Existing topsoil – 50%
2. Shredded pine bark – 50%
3. Fertilizer 10:20:10 at 30 lb./1000 SF

B. Planting Mix for Annuals/Perennials

1. Prepare above mix
2. Add 2" of sand

C. Azalea mix: solid peat moss in hole 9" wider than root ball each direction. Plant in solid peat moss and provide mound at base of plant to allow for drainage.

D. Japanese maple, dogwood, camellias: Provide 50/50 peat moss to topsoil mix, raise for drainage.

PART III - EXECUTION

3.01 UTILITIES - verify location of all utilities prior to initiating construction; repair any damage caused by construction at no cost to owner.

3.02 INSPECTION

- A. Inspect plants for injury and insect infestation; prune prior to installation.
- B. Inspect site to verify suitable job conditions.

3.03 FIELD MEASUREMENTS

- A. Location of all trees and shrubs to staked in the field and approved by Owner's representative prior to installation.
- B. Location of all groundcover and seeding limits as shown on plans.

3.04 EXCAVATION FOR PLANTING

A. Pits

1. Shape - Vertical hand scarified sides and flat bottom.
2. Size for trees – 2 feet wider or twice the root ball, whichever is greater.
3. Size for shrubs – Size of planting bed as shown on drawings.
4. Rototill soil mix thoroughly, full depth.
5. NOTE: If beds are proposed beneath drip line of existing tree canopy, pocket prep plants. Do not roto-till beneath existing trees.

B. Obstructions Below Ground

1. Remove rock or underground obstructions to depth necessary to permit planting.
2. If underground obstructions cannot be removed, notify Owner's representative for instruction.

C. Excess Soil Dispense of unacceptable or excess soil away from the project site at Contractor's expense.

3.05 PLANTING

A. General

1. Set plants 2" above existing grade to allow for settling.
2. Set plants plumb and rigidly braced in position until planting mixture has been tamped solidly around ball.
3. Apply soil in accordance with standard industry practice for the region.
4. Thoroughly settle by water jetting and tamping soil in 6" lifts.
5. Prepare 3" dish outside root ball after planting.
6. Thoroughly water all beds and plants.
7. Stake trees and large shrubs as indicated on plans.
8. Apply anti-desiccant according to manufacturer's instructions.
9. Apply commercially manufactured root stimulator as directed by printed instruction.
10. Plant and fertilize bedding plants per trade standards.
11. Apply 3" mulch top dressing.

B. Balled Plants

1. Place in pit of planting mixture that has been hand tamped prior to placing plant.
2. Place with burlap intact to ground line. Top of ball to be 2" above surrounding soil to allow for settling.
3. Remove binding at top of ball and lay top of burlap back 6".
4. Do not pull wrapping from under ball, but cut all binding cord.
5. Do not plant if ball is cracked or broken before or during planting process or if stem or trunk is loose.
6. Backfill with planting mixture in 6" lifts.

C. Container Grown Plants

1. Place in pit on planting mixture that has been hand tamped prior to placing plant.
2. Cut cans on two sides with an acceptable can cutter, and remove root ball from can. Do not injure root ball.
3. Carefully remove plants without injury or damage to root balls.
4. Backfill with planting mixture in 6" lifts.

D. Mulching

1. Cover planting bed evenly with 3" of mulch.
2. Water immediately after mulching.
3. Where mulch has settled, add additional mulch to regain 3" thickness.
4. Hose down planting area with fine spray to wash leaves of plants.

D. Pruning

1. Prune minimum necessary to remove injured twigs and branches, dead wood, and succors; remove approximately 1/3 of twig growth as directed by landscape architect; do not cut leaders or other major branches of plant unless directed by landscape architect.
2. Make cuts flush, leaving no stubs.
3. Paint cuts over 1" diameter with approved tree wound paint.
4. Do not prune evergreens except to remove injured branches.

3.06 EDGING

- A. Stake edging alignment with string line prior to installation. Use framing square to insure right angles are true.
- B. Install all edging straight and true as indicated on drawings. Where edging layout is circular in design, maintain true and constant radii as shown.
- C. When required on slopes, make vertical cuts (approximately 6" on center) on bottom of edging to allow bending without crimping edging.
- D. Install edging so that approximately 1" is exposed on lawn side. Edging should not be visible from bed side after application of mulch.
- E. Align edging with architectural features (ie pavement joints, windows, columns, wall, etc.) when drawings indicate.
- F. Bend all corners, do not cut corners.
- G. Interlock all pieces with pre-fabricated connectors.
- H. Install with all stakes on inside of planting bed.
- I. Remove, file off all sharp corners and burrs.

3.07 CLEAN-UP

A. Sweep and wash all paved surfaces.

Remove all planting and construction debris from site, including rocks, trash and all other miscellaneous materials.

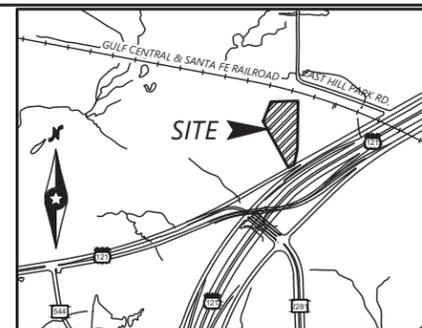
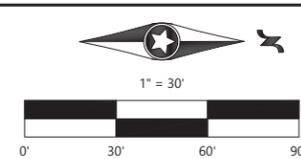
3.08 MAINTENANCE

A. Contractor responsible for routine, and regular maintenance of site until Final Acceptance is awarded by Owner. Work includes:

1. Weeding (weekly)
2. Watering (as required)
3. Pruning
4. Spraying
5. Fertilizing
6. Mulching
7. Mowing (weekly)

B. Provide Owner and Landscape Architect with preferred maintenance schedule in writing. Schedule shall include the above-listed tasks and shall address all frequencies, rates, times, levels, etc.

END OF SECTION



VICINITY MAP  
1" = 1000' SCALE



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PLANTING SPECS

DESIGNED: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_  
 HORIZONTAL SCALE: ###  
 VERTICAL SCALE: ## OR #

INITIAL ISSUE: 04-07-2020  
 REVISIONS: \_\_\_\_\_

PREPARED FOR:  
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 TEPFLS FIRM REGISTRATION NO. 10074301  
 CONTACT: ARLYN W. SAMUELSON, P.E.

**SUP DEVELOPMENT PLAN**  
**ADVANTAGE SELF STORAGE BUSINESS S.H. 121**  
 121 EAST ADDITION  
 BLOCK A, LOT 1, PHASE 2  
 3.5709 ACRE TRACT  
 ZONED LI

SHEET NUMBER:

**L-3**

DATE: 06-10-20

SECTION 02800  
FINISH GRADING, LAWN WORK, WILD FLOWERS

PART I - GENERAL

1.01 DESCRIPTION

- A. Work includes turf establishment (sod, hydromulch, etc.) as described on drawings.
- B. Make required analysis and material tests for topsoil, fertilizers, and other materials of similar character per current methods of the Association of Official Agricultural Chemists, when required.
- C. Grass seed shall conform to tolerances for germination and purity per applicable standards of U.S. Department of Agriculture.
- D. The turf contractor shall have a stand of grass established prior to substantial completion of the project. If this is not possible due to time of year or schedule, he shall maintain and protect the seeded areas until the grass is established.

PART II - PRODUCTS

2.01 TOPSOIL MATERIAL

- A. Topsoil material (stockpiled, as specified in Specifications) has been saved for use in finish grading. After sifting out all plant growth, rubbish, and stones, use for areas designated to receive grass. If stockpiled topsoil is not sufficient quantity to complete work, furnish acceptable topsoil from another approved source to provide four inches (4") of topsoil for grass areas unless otherwise noted on drawings. Grass areas shall be defined as the graded areas disturbed during construction not to be paved or built upon.

- B. Acceptable topsoil material shall be defined as natural, fertile, agricultural soil, capable of sustaining vigorous plant growth, uniform composition throughout, admixture of subsoil, free of stones, lumps, plants, and their roots, sticks, or other extraneous matter; do not deliver while in a frozen or muddy condition.

2.02 FERTILIZER

- A. Provide a commercial balanced fertilizer delivered to the job in bags labeled with manufacturer's guaranteed analysis. Store in weatherproof storage, place in such a manner that its effectiveness will not be impaired.
- B. Fertilizer shall be a grade containing the percentages of plant food elements by weight as specified elsewhere in these specifications.
- C. Availability of various elements shall be per Standards of the Association of Official Agricultural Chemists.

2.03 GRASS SEED

- A. Grass seed shall be of the previous season's crop and the date of analysis shown on each bag shall be within nine (9) months of the time of delivery to the project. When requested by the Owner or Representative, the seeding contractor shall furnish a sample of seed from each bag for testing.
- B. The seed shall comply with all provisions of the U.S. Department of Agriculture as to labeling, purity, and germination.

2.04 MULCHING

- A. Dry straw or hay of good quality, free of seeds of competing plants and at such rate of 1 1/2 - 2 tons per acre; or,
- B. Wood cellulose or cane fiber mulch at a rate of 1,000 pounds per acre when the slope is 3:4-1 and steeper; or,
- C. A combination of good quality dry straw or hay free of seeds of competing plants at a rate of 2 1/2 tons per acre and wood cellulose or cane fiber mulch at a rate of 500 pounds per acre. This combination shall be used when the slope is flatter than 3:4-1; or,
- D. Sericea lespedza seed bearing hay at a rate of 3 tons per acre. This mulch may be applied green or air dried, but must contain mature seed.
- E. Manufactured mulch materials, such as soil retention blankets, erosion control netting, or others that may be required on special areas of high water concentration or unstable soils. When these materials are used, follow the manufacturer's recommendations for installation.

2.05 HYDRO-MULCHING

Wood cellulose fiber or cane fiber mulch will be applied with hydraulic seeding and fertilizing equipment. All slurry ingredients shall be mixed to form a homogeneous slurry and spray applied within one hour after the mixture is made.

When wood cellulose or cane fiber mulch is used at the 500 pound per acre rate, straw or hay mulch with asphalt emulsion is applied over this to complete the mulch.

Wood cellulose or cane fiber mulch at the 1,000 pound per acre rate is used alone where other mulch material will not stick.

Wood cellulose or cane fiber mulch is self anchoring.

PART III - EXECUTION

3.01 RESPONSIBILITY

The site grading contractor will be responsible to stockpile acceptable topsoil in a sufficient quantity to provide four inches (4") minimum cover for all grass areas, including but not limited to all curbed islands, and topsoil planting mounds/benches at the appropriate height and width as defined and shown on the landscaping and/or planting drawings. The topsoil and grass areas shall be further defined as any area disturbed during the grading and construction process.

The site grading contractor, shall be responsible to spread the topsoil within all perimeter graded areas and future building areas only.

The site grading contractor shall be responsible for backfilling of all curbed islands and planting mounds/benches. They shall also be responsible for removal of all stones, roots, and raking of all topsoil areas that are to be seeded and/or planted. It will also be the site grading contractor's responsibility to provide fertilizer, grass seed, and any additional topsoil required and mulching.

3.02 GRASS SEEDING

- A. Remove stones, roots, rubbish and other deleterious materials from topsoiled areas that are to be seeded.
- B. Immediately prior to sowing seed, scarify ground as necessary, rake until surface is smooth and friable. Sow seed evenly, lightly wood rake into ground, then roll ground with suitable roller; water thoroughly with fine spray. During any weather, keep lawn watered with sprinklers or other approved methods. Re-seed any areas not doing well or damaged. At intervals as may be required according to seasonal conditions, mow and water grass and execute necessary weeding until acceptable and full stand of grass has been obtained.
- C. Provide permanent grass seeding for lawn areas so indicated. Seed in accordance with the following schedule (unless otherwise directed by Owner or Owner's Representative):
  1. Sow areas ready for seeding between March 1 and October 1 with Hulled Common Bermuda at a rate of 85 pounds per acre.
  2. Sow areas ready for seeding between October 1 and March 1 with Unhulled Common Bermuda at a rate of 90 pounds per acre, and Annual Rye Grass at the rate of 50 pounds per acre.
  3. Apply fertilizer at a rate of 20/25 pounds per 1,000 square feet.

3.03 WILD FLOWERS

- A. Areas indicated on plans to receive wild flower coverage shall be fine graded, fertilized, and prepared in a manner similar to traditional turf establishment.
- B. Area to be hydromulched with seed mix as follows:

Tickseed	10 pounds/acre
Cosmos	15 pounds/acre
Ox-Eyed Daisy	5 pounds/acre
Side Oats Grama	4 pounds/acre
Showy Primrose	0.5 pounds/acre
Plains Coreopsis	2 pounds/acre
Black Eyed Susan	2 pounds/acre
Indian Blanket	10 pounds/acre
Texas Bluebonnet	4 pounds/acre
Little Bluestem	4 pounds/acre

3.04 MULCH

- A. All areas to be seeded shall be mulched.
- B. Mulch materials shall be applied uniformly over the seeded area. Mulch shall be straw and shall be at the rate of 1 1/2 - 2 tons per acre
- C. Mulch shall be anchored with an emulsified asphalt binder at the rate of 10 gallons per 1,000 square feet.

3.05 PROTECTION

Provide, at no additional cost to Owner, fencing, railing, wire or other types of protection for topsoiled and seeded areas against trespassing and damage. If lawns are damaged prior to Final Acceptance, treat or replace them as directed. Remove protection when so directed.

3.06 MAINTENANCE

Provide maintenance from start of work until Final Acceptance. Maintenance includes watering of lawns, weeding, edging, repairs of wash-outs and gullies, repairs to protection, and other necessary work of maintenance. Maintain slopes against erosion.

3.07 REHYDROMULCHING

The Owner's representative will designate areas to be replanted. Areas on which a stand of growing grass is not present in a reasonable length of time, (Bermuda grass seed should be germinating in 6-8 days) shall be prepared, reseeded and remulched, as specified for original planting at no additional cost to Owner. A stand shall be defined as live plants from seed occurring at a rate of not less than 1,000 growing plants per square foot. Replanting required because of faulty operations or negligence on the part of the Contractor shall be performed without cost to Owner.

3.08 FINAL CLEAN-UP

- A. At time of final inspection of work, and before final acceptance, clean paved areas that are soiled or stained by operations of work of this section. Clean by sweeping or washing, and remove all defacements or stains.
- B. Remove construction equipment, excess material and tools. Cart away from site any debris resulting from work of this section and dispose of as directed.

END OF SECTION

SECTION 02922

SODDING

PART I - GENERAL

1.01 DESCRIPTION

- A. Work Included
  1. Sod bed preparation
  2. Fertilizing
  3. Sodding
  4. Miscellaneous management practices
- B. Related Work Specified Elsewhere
  1. Finish Grading, Section 02800
  2. Lawns and Grasses, Section 02930

1.02 REFERENCE STANDARDS

- A. Standardized Plant Names  
American Joint Committee of Horticultural Nomenclature, Second Edition, 1942.
- B. Texas Highway Department - Standard Specifications for Construction, Item 164, Seeding for Erosion Control.

1.03 SUBMITTALS

- A. Vendors Certification That Sod Meets Texas State Sod Law
  1. Include labeling requirements.
  2. Include purity and type.

1.04 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Sod:
  1. Previous season's crop with date of analysis on each bag.
  2. Furnish and deliver each variety in separate bags or containers.
  3. Sod to be cut no more than three days before delivery.
- B. Fertilizer:
  1. Unopened bags labeled with the analysis.
  2. Conform to Texas Fertilizer Law.

1.05 JOB CONDITIONS

- A. Planting Season:
  1. Only during suitable weather and soil conditions.
  2. As specifically authorized by the Owner's Representative.
- B. Schedule - Only after all other construction is complete.
- C. Protect and Maintain Sodded Areas
  1. From traffic and all other use.
  2. Until sodding is complete and accepted.

PART II - PRODUCTS

2.01 MATERIALS

- A. Sod:
  1. Sod: As specified on drawings, weed, insect, and disease free having a minimum of 1 inch of topsoil attached to the roots and cut no more than three days prior to installation.
  2. The sod shall be cut in strips of at least 1/2 sq. yd. and not more than 1 sq. yd. Sod shall be cut into strips not less than 12" in width or more than 9' in length. At the time of harvest, the top growth shall not exceed 3" in length.
  3. All sod shall conform to the laws of the State and shall be obtained from sources meeting the approval of the Department of Agriculture, Division of Entomology.
- B. Fertilizer:
  1. Uniform in composition, free flowing.
  2. Suitable for application in approved equipment.
  3. Analysis of 16-20-0, 16-8-8 or as directed.
- C. Water:
  1. Free of oil, acid, alkali, salts or other substances harmful to growth of grasses.

PART III - EXECUTION

3.01 SOD BED PREPARATION

- A. Cultivate to a depth of four (4") inches by disking and tilling with a power tiller.
- B. Clear surfaces of all materials:
  1. Stumps, stones, and other objects larger than one inch (1").
  2. Roots, brush, wire, stakes, etc.
  3. Any objects that may interfere with sodding or maintenance.
- C. Prepare sod bed:
  1. Remove soil clods larger than one inch (1").
  2. Grade areas to smooth, even surface, removing ridges and filling depressions. Final grade to be below finish grade of curbing and edging as shown on details. All grades shall meet approval of Owner's Representative before sodding.

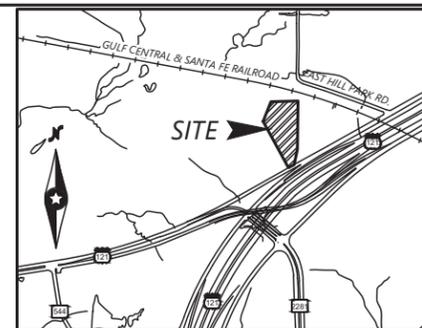
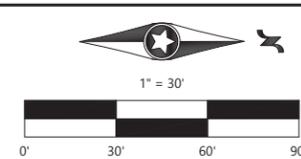
3.02 SODDING

- A. Sodding:
  1. Lightly water prepared grade, lay sod with staggered joints and with edges touching. Topdress with topsoil at edges if necessary to provide smooth surface. On slopes of 2 to 1 and greater, fasten sod in place with wood pegs (two each piece) or other approved method. Sod damaged by storage or during installation shall be rejected. Following setting, topdress with screened, approved topsoil.
  2. Water and fertilize at 5 lbs. per 1,000 sq. ft.
  3. Sod shall not be placed during a drought, nor during periods when sod is not normally placed in the area, and shall not be placed on frozen ground. No dry or frozen sod is acceptable.
  4. The contractor shall keep all sodded areas moist and growing until Final Acceptance. All areas shall be maintained in an acceptable condition until acceptance by Owner.
- B. Rolling:
  1. After placing sod, roll with a hand roller, weighing not more than 100 lbs. per foot of width, in two directions.
  2. Eliminate all air pockets; finished surface should be free of excessive undulations.

3.05 MAINTENANCE AND MANAGEMENT

- A. Includes protection, replanting, maintaining grades, repair of erosion damage. Also includes weekly mowing at 1 1/2" height until final acceptance.
- B. Resodding:
  1. Resod damaged or unacceptable areas.
  2. Ruts, ridges, and other surface irregularities shall be corrected.

END OF SECTION



THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREG CLIPPETT, LANDSCAPE ARCHITECT REGISTRATION NUMBER 2872 ON 06/10/20, WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING. PURSUANT TO RULES 1103(F) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

TURF SPECS

DESIGNED: \_\_\_\_\_  
CHECKED: \_\_\_\_\_  
DRAWN: \_\_\_\_\_  
HORIZONTAL SCALE: ###  
VERTICAL SCALE: ## OR #

INITIAL ISSUE: 04-07-2020  
REVISIONS: \_\_\_\_\_

PREPARED FOR:  
**ADVANTAGE SELF STORAGE**  
2221 LAKESIDE BOULEVARD #1260  
RICHARDSON, TEXAS 75082  
CONTACT: MR. RICK JONES  
PHONE: (972) 547-0236



**ADVANTAGE SELF STORAGE  
BUSINESS S.H. 121, PHASE 2**  
CITY OF LEWISVILLE, TEXAS

**Westwood**

Phone (214) 473-4640 2740 Dallas Parkway, Suite 280  
Toll Free (888) 937-5150 Plano, TX 75093  
westwoodps.com  
Westwood Professional Services, Inc.  
TEXAS FIRM REGISTRATION NO. F-11736  
TERRA FIRM REGISTRATION NO. 10074301  
CONTACT: ARLYN W. SAMUELSON, P.E.

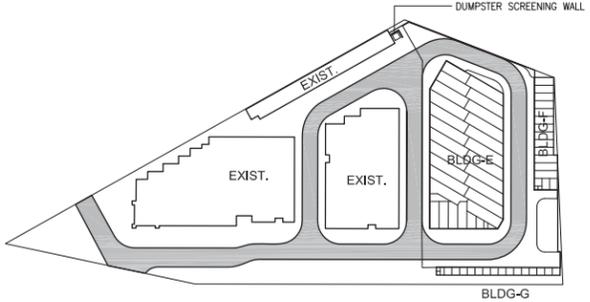
**SUP DEVELOPMENT PLAN**  
ADVANTAGE SELF STORAGE BUSINESS S.H. 121  
121 EAST ADDITION  
BLOCK A, LOT 1, PHASE 2  
3.5709 ACRE TRACT  
ZONED LI

SHEET NUMBER:

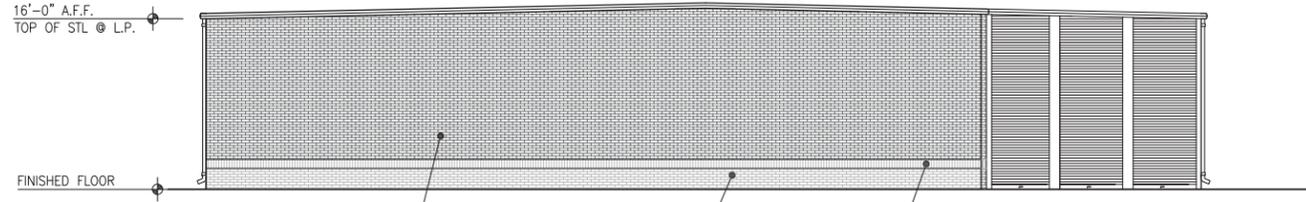
**L-4**

DATE: 06-10-20

NO.	DESCRIPTION	DATE
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2	REVISIONS PER CITY REVIEW	07.10.20



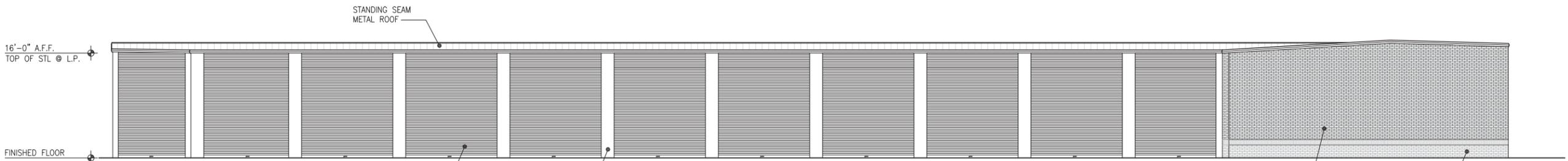
KEY SITE PLAN  
NTS



EXTERIOR WALL FINISH MATERIALS - WEST FACADE

BRICK	89.88%	1253 SF
METAL	10.12%	141 SF
	100%	1394 SF

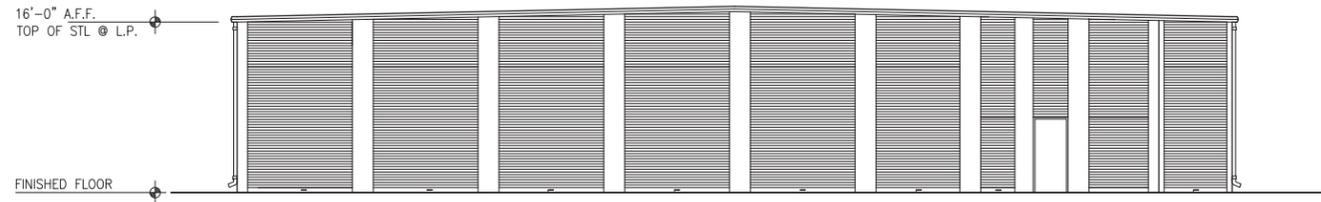
1 WEST ELEVATION BLDG-E  
SCALE: 1/8" = 1'-0"



EXTERIOR WALL FINISH MATERIALS - NORTH FACADE

BRICK	47.99%	763 SF
METAL	52.01%	827 SF
	100%	1590 SF

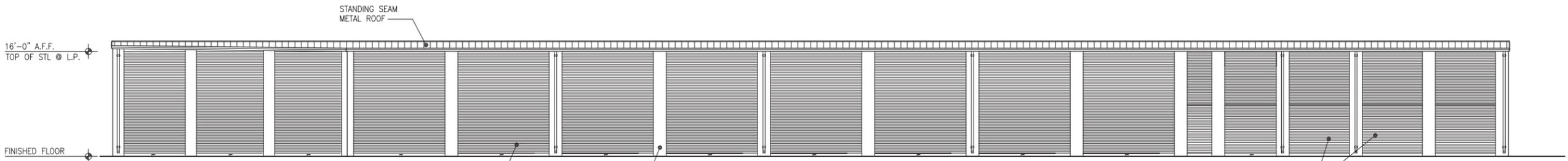
2 NORTH ELEVATION BLDG-E  
SCALE: 1/8" = 1'-0"



EXTERIOR WALL FINISH MATERIALS - EAST FACADE

METAL	100%	783 SF
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3 EAST ELEVATION BLDG-E  
SCALE: 1/8" = 1'-0"



EXTERIOR WALL FINISH MATERIALS - SOUTH FACADE

METAL	100%	1305 SF
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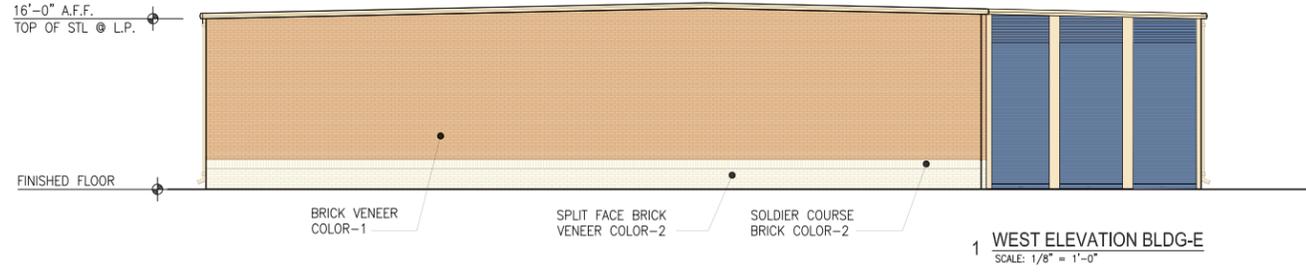
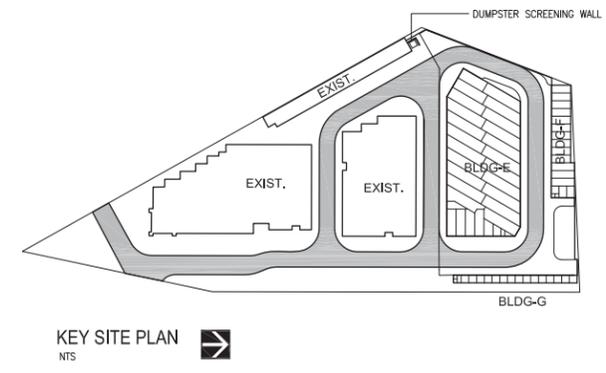
4 SOUTH ELEVATION BLDG-E  
SCALE: 1/8" = 1'-0"

**Advantage Storage Lewisville - Phase 2**  
2391 East SH 121 Business  
Lewisville, Texas 75056

PROJECT NUMBER	2001
DATE	07.10.20
SHEET NUMBER	SP-1

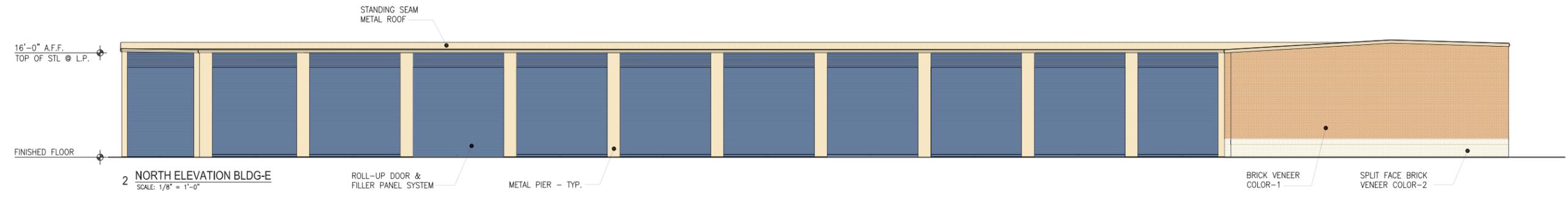
building elevations

NO.	DESCRIPTION	DATE
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2	REVISIONS PER CITY REVIEW	07.10.20



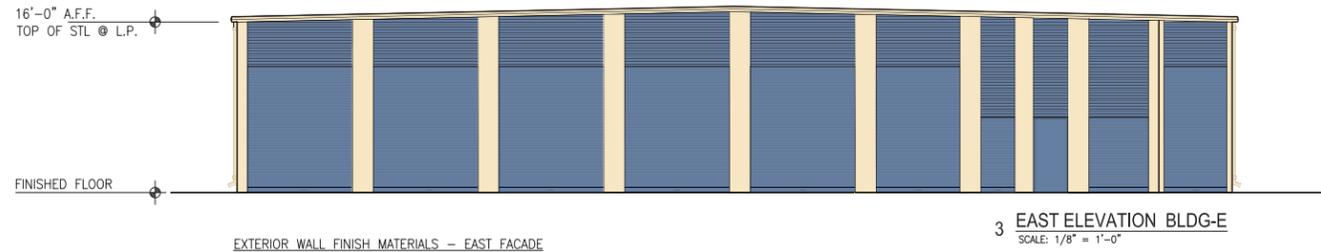
**EXTERIOR WALL FINISH MATERIALS - WEST FACADE**

BRICK	89.88%	1253 SF
METAL	10.12%	141 SF
	100%	1394 SF



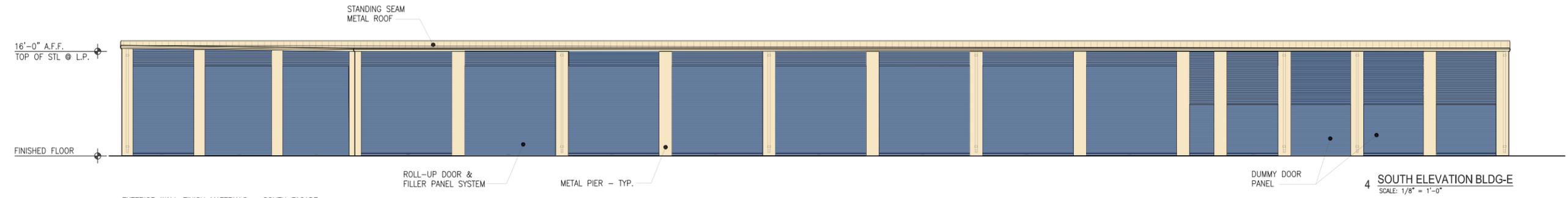
**EXTERIOR WALL FINISH MATERIALS - NORTH FACADE**

BRICK	47.99%	763 SF
METAL	52.01%	827 SF
	100%	1590 SF



**EXTERIOR WALL FINISH MATERIALS - EAST FACADE**

METAL	100%	783 SF
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**EXTERIOR WALL FINISH MATERIALS - SOUTH FACADE**

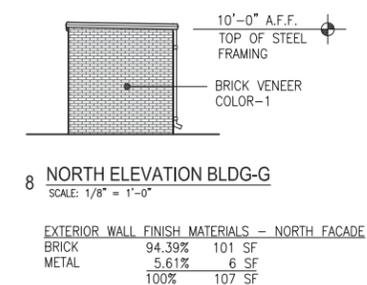
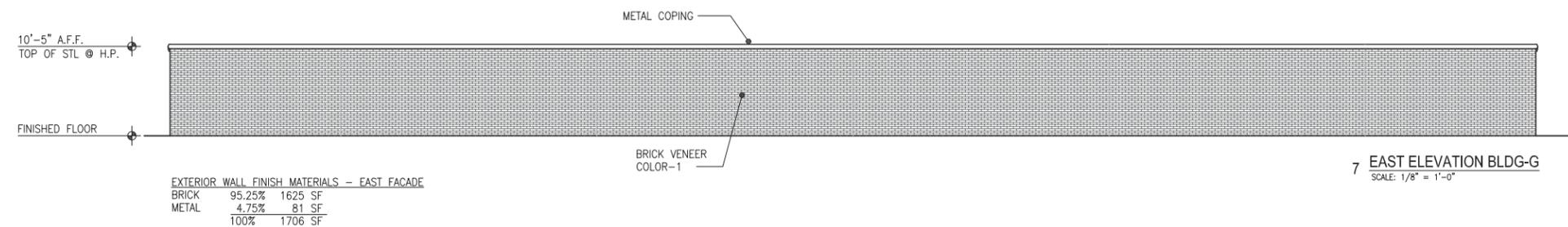
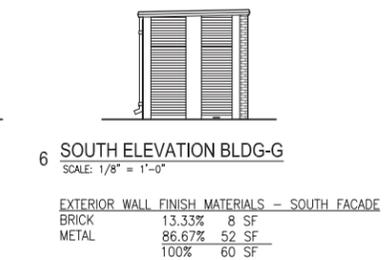
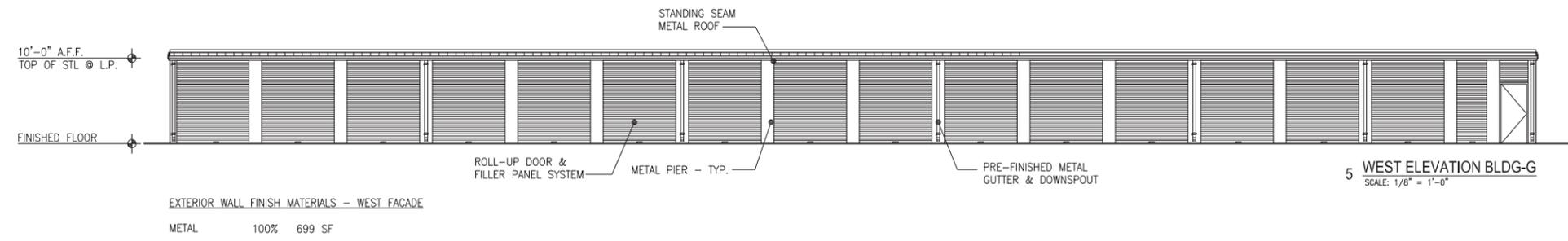
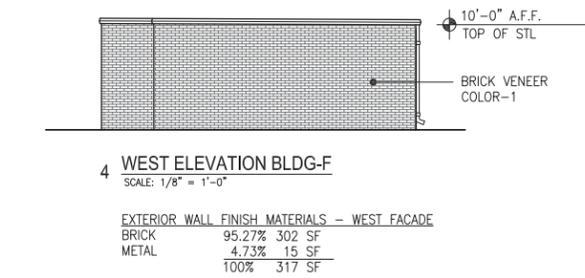
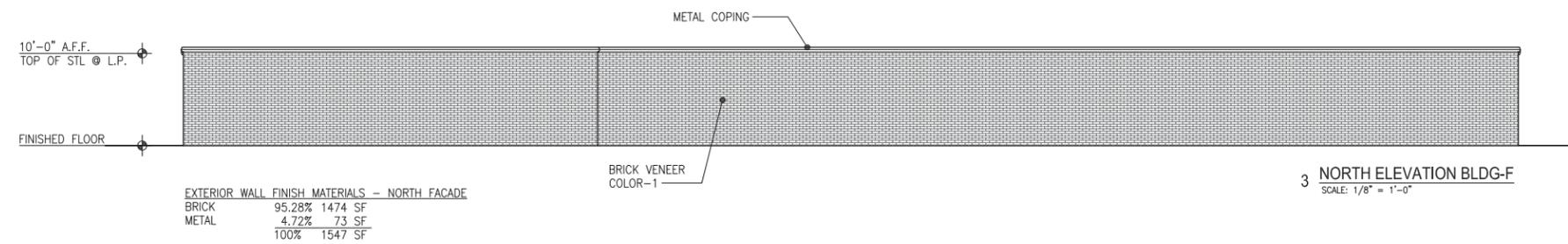
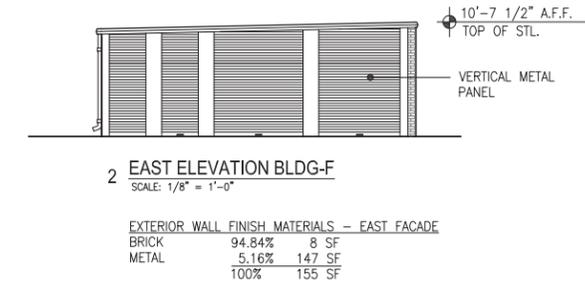
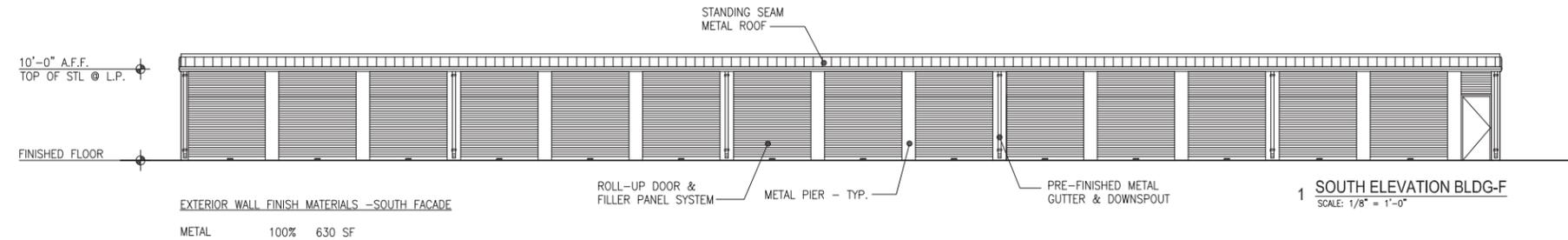
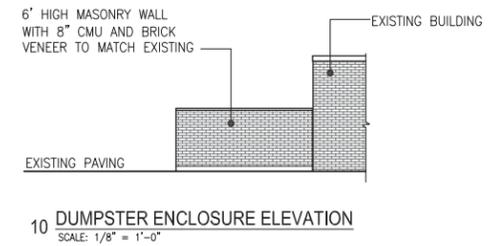
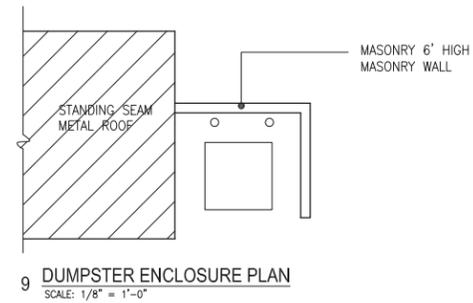
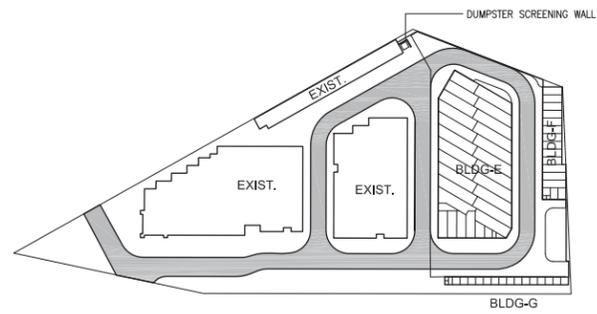
METAL	100%	1305 SF
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NOTE: MASONRY WORK, METAL PANELS AND OVERHEAD DOORS WILL MATCH EXISTING BUILDING MATERIALS.

**Advantage Storage Lewisville - Phase 2**  
2391 East SH 121 Business  
Lewisville, Texas 75066

PROJECT NUMBER  
**2001**  
DATE  
**07.10.20**  
SHEET NUMBER  
**SP-1**

building elevations



NO.	DESCRIPTION	DATE
1	REVISIONS PER CITY REVIEW	04.29.20
2	REVISIONS PER CITY REVIEW	07.10.20



davidbaca  
STUDIO

100 NORTH TRAVIS STREET  
SUITE NO.500A  
SHERMAN, TEXAS 75090

903 893 5800

www.davidbacastudio.com

### SCHEMATIC DESIGN REVIEW

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION

NO.	REVISIONS	DESCRIPTION	DATE
1	REVISIONS PER CITY REVIEW	04.29.20	07.10.20
2	REVISIONS PER CITY REVIEW		

## Advantage Storage Lewisville - Phase 2

2391 East SH 121 Business

Lewisville, Texas 75056

PROJECT NUMBER

2001

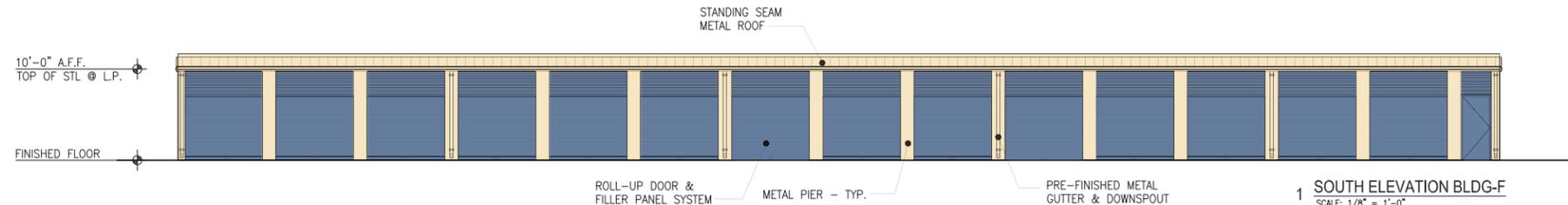
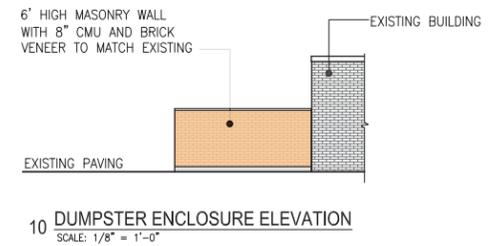
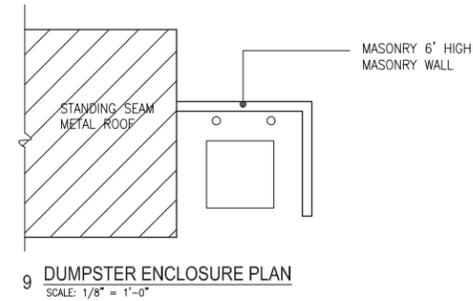
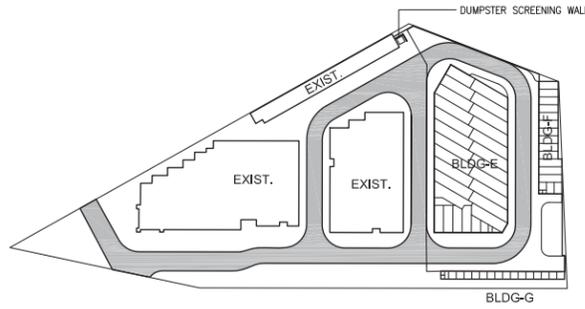
DATE

07.10.20

SHEET NUMBER

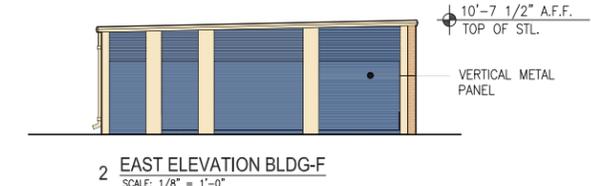
SP-2

building elevations



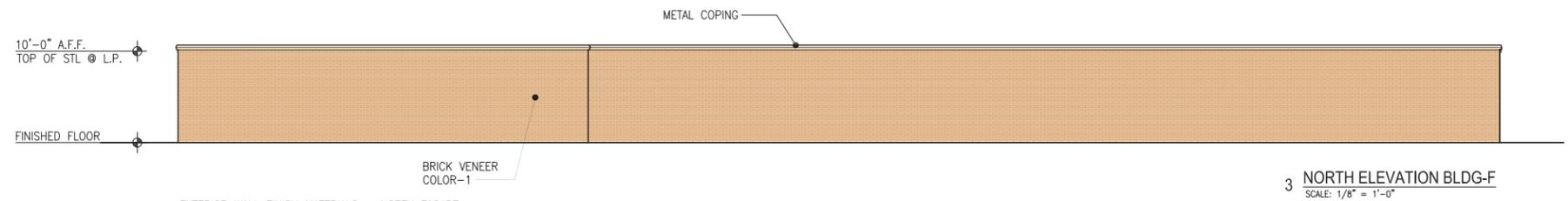
#### EXTERIOR WALL FINISH MATERIALS - SOUTH FAÇADE

METAL	100%	630 SF
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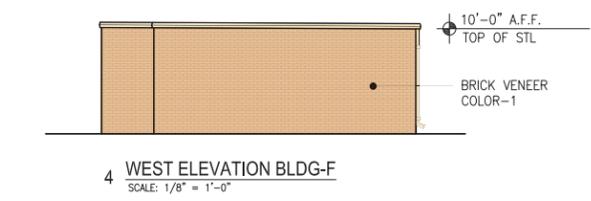
#### EXTERIOR WALL FINISH MATERIALS - EAST FAÇADE

BRICK	94.84%	8 SF
METAL	5.16%	147 SF
	100%	155 SF



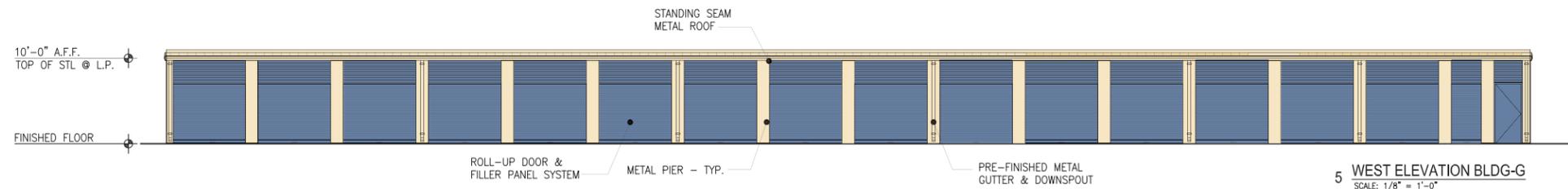
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BRICK	95.28%	1474 SF
METAL	4.72%	73 SF
	100%	1547 SF



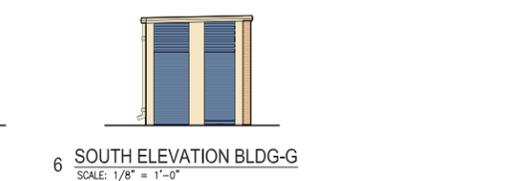
#### EXTERIOR WALL FINISH MATERIALS - WEST FAÇADE

BRICK	95.27%	302 SF
METAL	4.73%	15 SF
	100%	317 SF



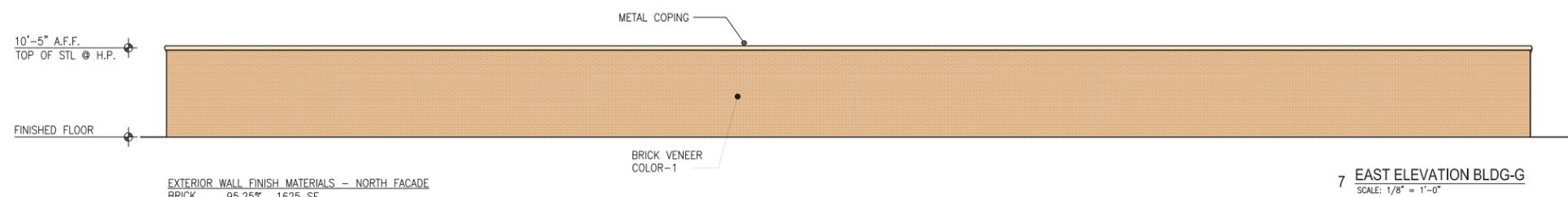
#### EXTERIOR WALL FINISH MATERIALS - WEST FAÇADE

METAL	100%	699 SF
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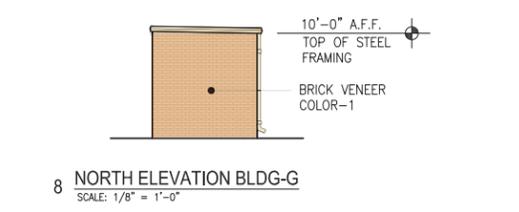
#### EXTERIOR WALL FINISH MATERIALS - SOUTH FAÇADE

BRICK	13.33%	8 SF
METAL	86.67%	52 SF
	100%	60 SF



#### EXTERIOR WALL FINISH MATERIALS - NORTH FAÇADE

BRICK	95.25%	1625 SF
METAL	4.75%	81 SF
	100%	1706 SF



#### EXTERIOR WALL FINISH MATERIALS - NORTH FAÇADE

BRICK	94.39%	101 SF
METAL	5.61%	6 SF
	100%	107 SF

NOTE: MASONRY WORK, METAL PANELS AND OVERHEAD DOORS WILL MATCH EXISTING BUILDING MATERIALS.

July 20, 2020  
WPS No: R0026319.00

**Planning Department**  
**CITY OF LEWISVILLE**  
151 Church Street  
Lewisville, Texas 75057

**Re:           ADVANTAGE STORAGE PHASE 2**  
**Special Use Permit Request**

To Whom it may concern:

The project is an expansion of an existing self-storage facility. A second phase was part of the original plan approved in the early 2000s. The original plan was for the second phase of the project to include a second 2-story building with climate-controlled units. Market conditions have not supported that concept, so the current plan is for the addition of three single-story buildings containing 24,013 SF. The largest, center building is designed for fully enclosed RV and boat units and the two perimeter buildings are non-climate controlled drive-up units. The expansion is on the back side of the existing facility and is accessed through the existing drive and tenant only controlled gate. Improvements include Lewisville planning staff recommended landscape areas, six trees and provisions for a future front sidewalk. Rental and management of the units will be conducted through the existing office.

In association with this special use permit request, the owner respectfully requests the following two variances from City of Lewisville requirements:

1. To allow pavement in the easement for the existing 24" water main.

This variance is requested due to the irregular shape of the property. If the easement were to remain unpaved, access would be near impossible and development of the property for the intended use would be severely restricted. A similar variance was granted with the first phase development of this property. See Exhibit EX1 for visual reference of the variance location.

2. To allow the removal of the 10' continuous loading zone surrounding Building E.

This building will be used for R/V and boat storage rather than for typical self-storage. This variance is requested in order to be able to provide a 24 foot wide fire lane in the area of new construction. See Exhibit EX1 for visual reference of the variance location.

If you have any questions or need any additional information please call me at (972) 265-4860.

Sincerely,



Arlyn W. Samuelson, P.E.

AWS/mdl

N:\0026319.00\1 Project Data\Cors-Gen\Submittals\City\2020-06-15 SUP Resubmittal\Narrative Letter Revised.Docx

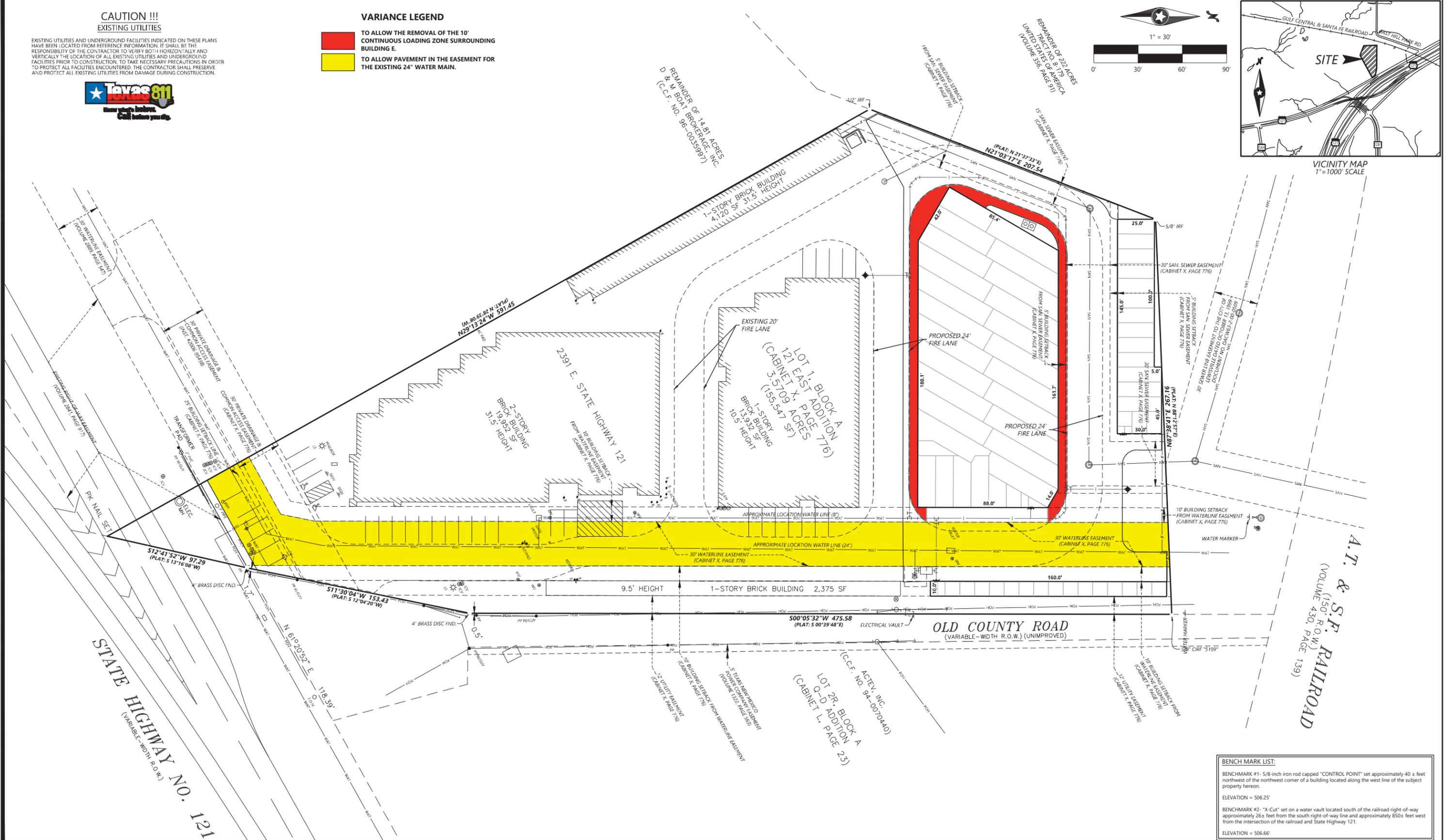
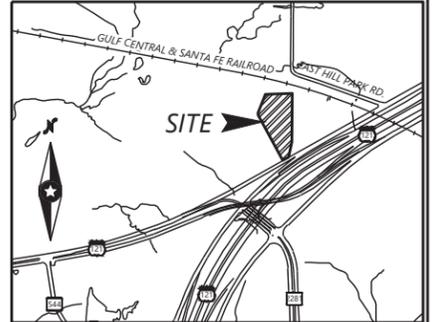
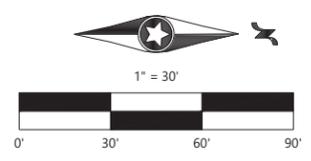
**CAUTION !!!**  
EXISTING UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION. TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



**VARIANCE LEGEND**

- TO ALLOW THE REMOVAL OF THE 10' CONTINUOUS LOADING ZONE SURROUNDING BUILDING E.
- TO ALLOW PAVEMENT IN THE EASEMENT FOR THE EXISTING 24" WATER MAIN.



**BENCH MARK LIST:**

BENCHMARK #1- 5/8-inch iron rod capped "CONTROL POINT" set approximately 40 ± feet northwest of the northwest corner of a building located along the west line of the subject property hereon.  
ELEVATION = 506.25'

BENCHMARK #2- "X-Cut" set on a water vault located south of the railroad right-of-way approximately 26± feet from the south right-of-way line and approximately 850± feet west from the intersection of the railroad and State Highway 121.  
ELEVATION = 506.66'

DESIGNED: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_  
 HORIZONTAL SCALE: 30'  
 VERTICAL SCALE: 6' OR 3'  
 PROJECT NUMBER: 0026319

INITIAL ISSUE: 07-20-2020  
 REVISIONS: \_\_\_\_\_  
 PREPARED FOR:  
**ADVANTAGE STORAGE**  
 2221 LAKESIDE BLVD, SUITE 1260  
 RICHARDSON, TX 75082  
 CONTACT: MR. RICK JONES  
 PHONE: (972) 547-0236

FOR INTERIM REVIEW ONLY  
 NOT TO BE USED FOR  
 CONSTRUCTION OR  
 BIDDING PURPOSES.  
 Engineer: **ARLYN W. SAMUELSON, P.E.**  
 P.E. No.: 98871  
 Date: 07-20-2020  
**Westwood**

**Westwood**  
 ADVANTAGE SELF STORAGE  
 BUSINESS S.H. 121, PHASE 2  
 CITY OF LEWISVILLE, TEXAS

**Westwood**  
 Phone (214) 473-4640 2740 Dallas Parkway, Suite 280  
 TollFree (888) 937-5150 Plano, TX 75093  
 westwoodps.com  
 Westwood Professional Services, Inc.  
 TSPS FIRM REGISTRATION NO. F-11736  
 TSPS FIRM REGISTRATION NO. 10074301  
 CONTACT: ARLYN W. SAMUELSON, P.E.

**VARIANCE EXHIBIT**  
 ADVANTAGE SELF STORAGE BUSINESS S.H. 121  
 BLOCK A, LOT 1, PHASE 2  
 3.5709 ACRE TRACT  
 ZONED LI

SHEET NUMBER:  
**EX-1**  
 DATE: 07-20-2020

**MINUTES  
TRANSPORTATION BOARD**

**Tuesday July 7<sup>th</sup>, 2020**

**Item No. 1    Call to Order and Announce a Quorum is Present**

*Due to the closing of city facilities for in-person meetings, the Transportation Board meeting on Tuesday, July 7<sup>th</sup>, was held via remote access. This is pursuant to Governor Greg Abbott's temporary suspension of various provisions of the Texas Open Meetings Act to allow for telephonic or videoconference meetings of governmental bodies that are accessible to the public in an effort to reduce in-person meetings that assemble large groups of people.*

Chairman Mary Ellen Miksa called the Lewisville Transportation Board meeting to order at 06:51 p.m. and announced that a quorum was present with the following members in attendance:

Mary Ellen Miksa  
William Meredith  
Karen Locke  
James Davis  
Erum Ali  
John Lyng

Members Absent: Alvin Turner

Staff Present: Sagar Medisetty, Jason Walker, Daphne Stubbs

**Item No. 2    Approval of the Minutes**

A motion was made by Erum Ali and seconded by John Lyng to approve the minutes of the May 05, 2020 meeting as submitted. All members present voted aye (6-0-1Absent), and the motion carried.

**Item No. 3    Visitors/Citizens Forum**

At this time, any person with business before the Board not scheduled on the Agenda may speak to the Board. No formal action can be taken on these items at this meeting.

No speakers came forth (one online attendee that didn't comment).

**Item No. 4 Consideration of an Amendment to Section 15-35, Maximum Speed Limits on Specific Streets, of the Lewisville City Code to Establish the Speed Limit of 50 mph on State Highway 121 Frontage Roads (Northbound and Southbound) from Denton Tap Road to the East City Limits at Standridge Drive and Make a Recommendation to the City Council Regarding the Amendment.**

Jason Walker present this item and explain that TxDot submitted a new speed study. The study recommends the speed limits on the State Highway 121 be set at 50 mph. The Lewisville's Police department would be able to enforce the limits.

Staff recommends the consideration.

A motion was made by William Meredith to approve the item and seconded by Erum Ali to approve the Consideration of an Amendment to Section 15-35, Maximum Speed Limits on Specific Streets, of the Lewisville City Code to Establish the Speed Limit of 50 mph on State Highway 121 Frontage Roads (Northbound and Southbound) from Denton Tap Road to the East City Limits at Standridge Drive and Make a Recommendation to the City Council Regarding the Amendment.

The vote was 6 ayes, 0 nay and 1 absent. The motion carried.

**Item No. 5 Consideration of an Amendment to Section 15-204, Certain Turns Prohibited, of the Lewisville City Code to Prohibit U-Turns on Eastbound Windhaven Parkway at the first median opening east of Josey Lane and Make a Recommendation to the City Council Regarding the Amendment.**

Sagar Medisetty presented this item. He explained there is a storage bay for left turn lanes on the westbound approach but not for the U-turns on the eastbound. This presents a safety concern. The Castle Hills district of the Denton County Fresh Water Supply District made a request to prohibit the U-turns in this area.

Staff recommends the consideration.

There were no discussions

A motion was made by Erum Ali to approve the item and seconded by Karen Locke to approve the Consideration of an Amendment to Section 15-204, Certain Turns Prohibited, of the Lewisville City Code to Prohibit U-Turns on Eastbound Windhaven Parkway at the first median opening east of Josey Lane and Make a Recommendation to the City Council Regarding the Amendment.

The vote was 6 ayes, 0 nay and 1 absent. The motion carried.

**Item No. 6 Adjournment**

A motion to adjourn was made by Karen Locke and seconded by William Meredith. The vote was 6 ayes, 0 nay and 1 absent to adjourn.

The meeting adjourned at 7:01 pm.

Respectfully submitted,

David Salmon P.E.  
City Engineer

**THESE MINUTES APPROVED BY THE  
LEWISVILLE TRANSPORTATION BOARD.**

\_\_\_\_\_  
**CHAIRMAN**

\_\_\_\_\_  
**DATE**

**AGENDA SUPPORT MATERIAL**  
**AUGUST 4, 2020**

**Item No. 2 – Minutes**

A copy of the minutes of the July 7, 2020 meeting is attached. If there are any questions or corrections, please contact Sagar Medisetty at 972-219-5027.

**Item No. 3 – Visitors/Citizens Forum**

At this time, any person with business before the Board not scheduled on the Agenda may speak to the Board. No formal action can be taken on these items at this meeting.

1. **Item No. 4 – Consideration of an Amendment to Section 15-104, Trucks Operation Restricted, of the Lewisville City Code to Extend the Truck Restriction on Church Street to include the block between Mill Street and Kealy Avenue and Make a Recommendation to the City Council Regarding the Amendment.**

Action

Possible Action

Informational Item

Presenter: Sagar Medisetty

**Background:**

Currently, truck operation is restricted on Church Street from Herod Street to Mill Street. In order to promote walkability in Old Town, and because alternative trucks route exist for truck traffic, staff recommends extending the truck operation restriction on Church Street from Mill Street to Kealy Avenue.

**Analysis:**

Operation of large trucks is currently restricted on Church Street between Herod Street and Mill Street. The Main Street and Mill Street improvements project in Old Town is being constructed to promote walkability in Old Town. The Main St and Mill St project provided wide sidewalks and bike lanes on Mill Street from College Street to Purnell Street. In order to prevent deterrence for walkability and bikeability in Old Town, staff proposes extending the existing truck restriction on Church Street from Mill Street to Kealy Avenue. The new geometric design of Mill Street at Church Street is not conducive to large truck traffic. Truck restrictions were approved for College Street between Mill Street and Kealy Avenue previously for the same reasons.

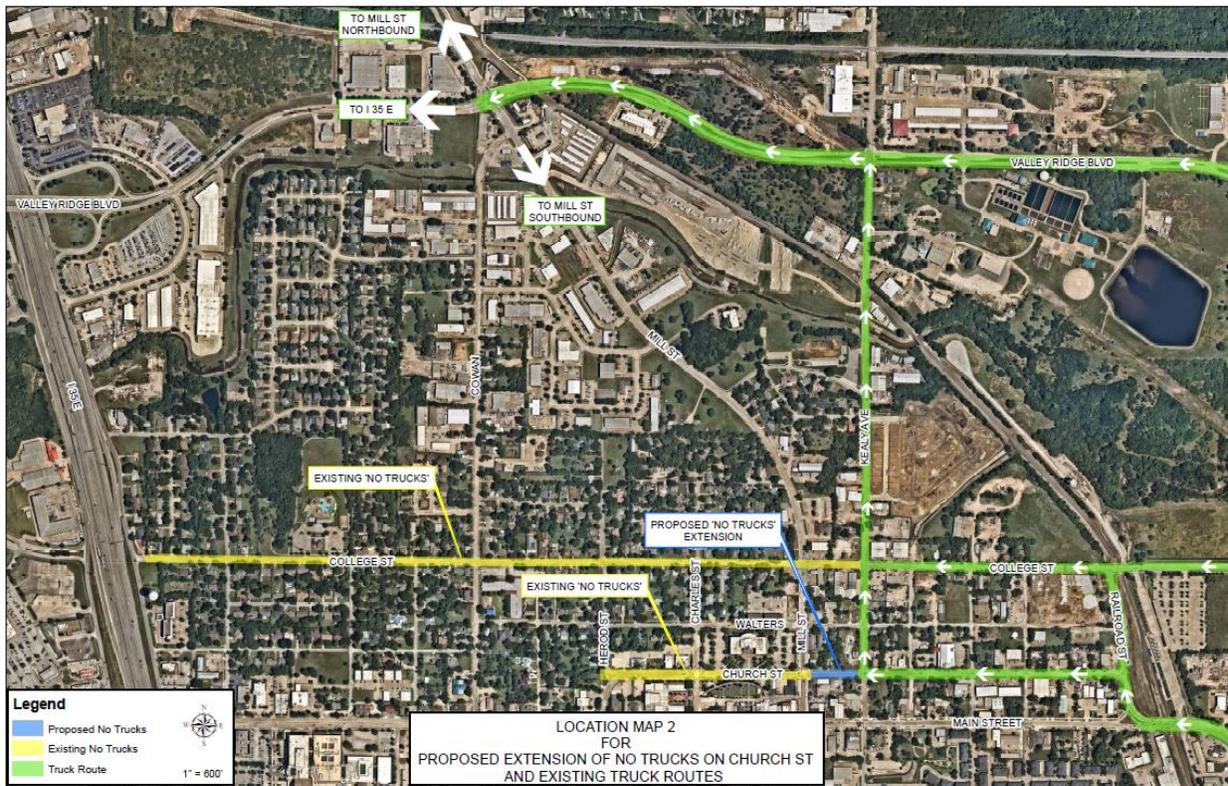
The existing truck restriction on Church Street and the proposed extension of the truck restriction on Church Street is illustrated in the map below.



**Figure 1: EXISTING TRUCK RESTRICTION AND PROPOSED TRUCK RESTRICTION ON CHURCH ST**

**Alternative Trucks Routes Available:**

Alternative routes are available for trucks to detour around the Old Town core area. This is illustrated in the figure below.



**Figure 2: MAP ILLUSTRATING VARIOUS TRUCK ROUTES TO DETOUR AROUND MILL STREET**

Because the Valley Ridge Boulevard extension project has been complete for more than 2 years now, this roadway provides for a major truck route between State Highway 121 Business and IH 35E.

When trucks are restricted on Church Street between Mill Street and Kealy Avenue, trucks accessing Mill Street can use the following routes:

- **From westbound Church St** – turn right onto Kealy Ave, turn left onto Valley Ridge Boulevard, and then access Mill Street or access IH 35E.

- **From westbound Main St** – turn right onto Railroad St, turn right onto Railroad St, turn left onto College St, turn right onto Kealy Ave and use Valley Ridge Blvd to access Mill St or IH 35E.
- **From westbound College St** – turn right onto Kealy Ave, turn left onto Valley Ridge Boulevard, and then access Mill Street or access IH 35E.

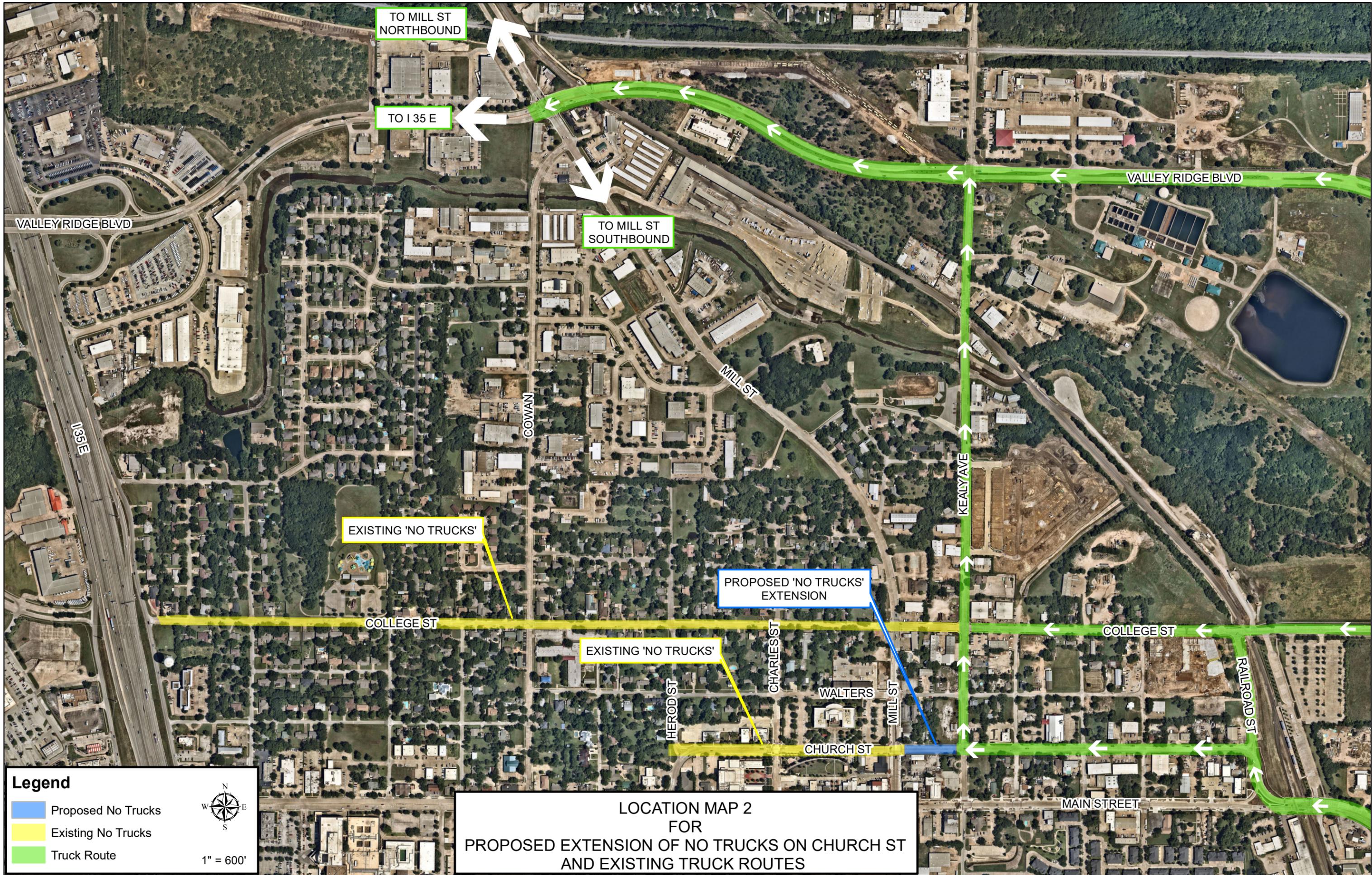
In order to promote walkability, to be bike friendly, to be conducive to future residential development along the Mill Street corridor, and because alternative routes are available for trucks, staff recommends extending the existing truck operation restriction on Church Street from Mill Street to Kealy Avenue.

Signage will be installed by Public Services.

**Recommendation:**

Staff requests the Transportation Board recommend to the City Council amending section 15-104 of the Lewisville City Code to extend the prohibition of the operation of trucks on Church Street from Mill Street to Kealy Avenue.





TO MILL ST  
NORTHBOUND

TO I 35 E

TO MILL ST  
SOUTHBOUND

VALLEY RIDGE BLVD

VALLEY RIDGE BLVD

I 35 E

EXISTING 'NO TRUCKS'

PROPOSED 'NO TRUCKS'  
EXTENSION

COLLEGE ST

EXISTING 'NO TRUCKS'

COLLEGE ST

HEROD ST

CHARLES ST

WALTERS

MILL ST

CHURCH ST

KEALY AVE

RAILROAD ST

MAIN STREET