



151 W. Church Street  
Lewisville, TX 75057

## City of Lewisville, TX

### Planning and Zoning Commission Regular Session Agenda

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**Tuesday June 2, 2020**

**6:30 P.M.**

**Zoom Meeting Will be Held  
Links for the Meeting are  
Contained Below**

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Due to the closing of all city facilities, the Planning and Zoning meeting scheduled for Tuesday, June 2<sup>nd</sup>, will only be open to public via remote access. This is pursuant to Governor Greg Abbott's temporary suspension of various provisions of the Texas Open Meetings Act to allow for telephonic or videoconference meetings of governmental bodies that are accessible to the public in an effort to reduce in-person meetings that assemble large groups of people.

Citizens/Visitors wanting to access the meeting may go to <https://cityoflewisville.zoom.us/j/97924774599> or call 888.475.4499 (Toll Free) or 877.853.5257 (Toll Free) using the following information: Webinar ID: 979 2477 4599. Listeners must sign-in to the event in order to comment. Please use the "raise hand" function to participate in any public hearing process while using the zoom application. If you have called in to the meeting, press \*9 to raise your hand and speak. If you have a technical issue connecting to this meeting, or during the meeting, call 817.938.4409 or e-mail [planning@cityoflewisville.com](mailto:planning@cityoflewisville.com).

Comments will be accepted via e-mail until 5 p.m. prior to the meeting. To submit a comment, please e-mail [planning@cityoflewisville.com](mailto:planning@cityoflewisville.com) with the agenda date and agenda number in the subject line of the e-mail. Please include your name and physical address for the record.

**1. CALL TO ORDER AND ANNOUNCE THAT A QUORUM IS PRESENT.**

**2. APPROVE MINUTES OF THE MAY 19, 2020 MEETING.**

**3. REGULAR HEARING – PLATS**

(The following plats have variances requested or are being recommended for disapproval with listed deficiencies and will be considered following a regular hearing in accordance with Local Government Code Section 212)

- A. Preliminary Plat of Heritage Towers Addition; Lots 1X, 2X, 3 and 4X, Block A; on 22.33 Acres out of the Steven Riggs Survey, Abstract Number 1088; Zoned Planned Development – Mixed Use (PD-MU) District; Located on the West Side of Summit Avenue Approximately 1,000 Feet South of Justin Road (F.M. 407), Being a Replat of Lot 2, Block B, Lewisville Corporate Center Addition

**4. PUBLIC HEARING – ZONING & SPECIAL USE PERMITS**

- A. **Public Hearing:** Consideration of a Zone Change Request from Planned Development – Mixed Use District (PD-MU) To Planned Development – Mixed Use District (PD-MU) to Amend the Existing Planned Development; on an Approximately 90.588-Acre Tract of Land

out of the Stephen Riggs Survey, Abstract No. 1088 and the WM. Brown Survey, Abstract No. 63; Located on Both the East and West Sides of Summit Avenue North of the Kansas City Southern Railroad and Grandy's Lane with Frontage on the West Side of I-35E (North Stemmons Freeway) and the East Side of McGee Lane, as Requested by the City of Lewisville, the Applicant. (Case No. 19-11-4-PZ)

## **5. ADJOURNMENT**

### **NOTICE OF ASSISTANCE AT THE PUBLIC MEETINGS**

The City will provide appropriate auxiliary aids and services, including sign language interpreters and assisted listening devices, whenever necessary to ensure effective communication with members of the public who have hearing, sight or speech impairments, unless doing so would result in a fundamental alteration of its programs or an undue financial burden. A person who requires an accommodation or auxiliary aid or service to participate in a City program, service or activity, should contact the sponsoring Department, or the Human Resource Department at 972-219-3450 or by Fax at 972-219-5005 as far in advance as possible but no later than 48 hours before the scheduled event.

**MINUTES**  
**JOINT MEETING OF THE PLANNING AND ZONING COMMISSION**  
**AND OVERLAY DISTRICT BOARD**  
**MAY 19, 2020**

**PLANNING AND ZONING COMMISSION MEETING**

**Item 1:**

The Lewisville Planning and Zoning Commission meeting was called to order at 6:31 P.M. on Tuesday, May 19, 2020, by Chairman James Davis through Zoom Virtual Meeting.

Planning and Zoning Commission Members present: James Davis, Chairman (Teleconference); William Meredith (Teleconference); John Lyng (Teleconference); MaryEllen Miksa, Vice-Chair (Teleconference); Alvin Turner (Teleconference); Karen Locke (Teleconference) and Erum Ali (Teleconference).

Planning and Zoning Commission Members absent: Alvin Turner.

City Staff members present: Richard Luedke, Planning Director (Teleconference); Michele Berry, Planning Manager (Teleconference); Jonathan Beckham, Planner; (Teleconference) and Theresa Ernest, Planning Technician (Teleconference).

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**Item 2:**

The second item on the agenda was to approve the minutes from the May 5, 2020, meeting. *A motion was made by Karen Locke to approve the minutes as presented, seconded by Erum Ali. The motion passed unanimously (6-0).*

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**Item 3:**

Regular Hearing – Plats were next on the agenda. There were two items for consideration:

- A. Final Plat of Castle Hills Golf Course Addition Lots 6R-1, 6R-2, 6R-3 & 7, Block A; on 17.179 Acres out of the J. Dooley Survey, Abstract Number 343; With Estate Townhouse Residential (ETH) District and Single-Family Residential (R-12) District Zoning Designations; Located on the South Side of King Arthur Boulevard, Approximately 300 Feet West of Queen Peggy Lane, Being a Replat of Castle Hills Golf Course Addition Lots 6 and 7, Block A.

Staff gave a brief overview of the proposed final plat with a recommendation of disapproval due to deficiencies and a recommendation to delegate to staff the ability to accept and approve the plat once the listed deficiencies are corrected. Once the deficiencies listed are corrected the approved plat will be brought to the Chairman for signature. No comments were received prior to the meeting and no one at the meeting indicated a desire to speak. *A motion was made by William Meredith to*

disapprove the final plat and grant staff the ability to accept and approve the final plat. The motion was seconded by Erum Ali. The motion passed unanimously (6-0).

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- B. Final Plat of Peck V.R. Addition Lot 7A, Block B; on 3.946 Acres out of the J.W. King Survey, Abstract Number 696; Zoned Light Industrial (LI) District; Located on the South side of South Valley Ridge Boulevard Approximately 320 Feet East of Kealy Avenue, Being a Replat of Peck V.R. Addition Lots 7&8, Block A.

Staff gave a brief overview of the proposed final plat with a recommendation of disapproval due to deficiencies and a recommendation to delegate to staff the ability to accept and approve the plat once the listed deficiencies are corrected. Once the deficiencies listed are corrected the approved plat will be brought to the Chairman for signature. No comments were received prior to the meeting and no one at the meeting indicated a desire to speak. A motion was made by John Lyng to disapprove the final plat and grant staff the ability to accept and approve the final plat. The motion was seconded by MaryEllen Miksa. The motion passed unanimously (6-0).

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**Item 4:**

Other Business was next on the agenda. There was one item for discussion:

- A. The Overlay District Board will meet following the Planning and Zoning Commission Meeting.

Staff gave a brief statement regarding the Overlay District Board meeting following the adjournment of the Planning and Zoning Commission meeting.

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There being no other business to discuss, the Planning & Zoning Commission meeting was adjourned at 6:39 P.M.

**OVERLAY DISTRICT BOARD MEETING**

**Item 1:**

The Lewisville Overlay District Board meeting was called to order at 6:39 P.M. on Tuesday, May 19, 2020, by Chairman James Davis through Zoom Virtual Meeting.

Overlay District Board Members present: James Davis, Chairman (Teleconference); William Meredith (Teleconference); John Lyng (Teleconference); MaryEllen Miksa, Vice-Chair (Teleconference); Karen Locke (Teleconference) and Erum Ali (Teleconference).

Overlay District Board Members absent: Alvin Turner.

City Staff members present: Richard Luedke, Planning Director (Teleconference); Michele Berry, Planning Manager (Teleconference); Jonathan Beckham, Planner; (Teleconference) and Theresa Ernest, Planning Technician (Teleconference).

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**Item 2:**

The second item on the agenda was to approve the minutes from the March 3, 2020, meeting. *A motion was made by William Meredith to approve the minutes as presented, seconded by Erum Ali. The motion passed unanimously (6-0).*

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**Item 3:**

Consideration of Three Alternative Standards Associated with Façade Changes for El Paisa on Two Lots Totaling 1.0542-Acres, Legally Described as Two Lots Out of the W. King Survey, Abstract Number 697; Located at 1342 E SH 121 Business; Zoned General Business (GB) District, as Requested by Ayman Alkurdi, of Moose Construction LLC, on Behalf of Jose Velasquez, the Business Owner (Case No. 20-04-3-AltStd).

Staff gave a brief overview of the subject property, the existing conditions of the site and its improvements, and details of the requested three proposed alternative standards. Staff provided a recommendation that the Board approve alternative standard b.) and alternative standard c.) as presented, and that the Board provide a recommendation of approval for alternative standard a.) prior to its appearance before the Lewisville City Council. Members MaryEllen Miksa and William Meredith had questions regarding the type of exterior building materials and their percentage of coverage on the building exterior. The business owner, Jose Velasquez, was present and answered questions regarding the exterior materials. Staff provided additional details about the unique circumstances of the re-development at the subject property and their recommendation of the request. *A motion was made by William Meredith to recommend approval of alternative standard a.), and to approve alternative standard b.) and alternative standard c.) as presented. The motion was seconded by Erum Ali. The motion passed unanimously (6-0).* Staff indicated that alternative standard a.) would appear before the Lewisville City Council on Monday, June 15<sup>th</sup>, 2020 for a second reading and final decision.

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There being no other business to discuss, the Overlay District Board meeting was adjourned at 7:06 P.M.

Respectfully Submitted,

Approved,

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Michele Berry, AICP  
Planning Manager

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James Davis, Chairman  
Planning and Zoning Commission and  
Overlay District Board

## MEMORANDUM

**TO:** Planning and Zoning Commission  
**FROM:** Michele Berry, Planning Manager  
**DATE:** June 2, 2020  
**SUBJECT:** **Preliminary Plat of Heritage Towers Addition; Lots 1X, 2X, 3 and 4X, Block A; on 22.33 Acres out of the Steven Riggs Survey, Abstract Number 1088; Zoned Planned Development – Mixed Use (PD-MU) District; Located on the West Side of Summit Avenue Approximately 1,000 Feet South of Justin Road (F.M. 407), Being a Replat of Lot 2, Block B, Lewisville Corporate Center Addition.**

### BACKGROUND:

On September 16, 2019 City council approved an amendment to the City's Land Development Regulations regarding plats and replats to conform to new legislative procedures. House Bill 3167 specifies that the Planning and Zoning Commission (P&Z) or the official responsible for the approval of plat, shall approve, approve with conditions, or disapprove a plat application within 30 days after the date the plat was filed with the City. This bill went into effect on September 1, 2019.

### ANALYSIS:

The plat is prepared based on the pending Planned Development for the subject property. The plat is in conformance with the proposed zoning but not the current zoning, with 6 identified deficiencies.

Conformance with Current Zoning Ordinance 4255-11-15

1. Not in compliance with current zoning, including thoroughfare plan, pedestrian network, parking, building layout and setbacks, elevation and other standards.

Section 6-27

2. Confirm no ROW to be dedicated, if dedicating ROW need a current title opinion.

Section 6-28

3. Provide current tax certificate.

Section 6-73 – Development Code

4. Add Zoning of adjacent properties (b.13).
5. Show all needed easements (b.11).
6. Correct Planning and Zoning Commission approval block to be that from the appendix (b.31).

**RECOMMENDATION:**

Staff recommends that the Planning and Zoning Commission disapprove the Preliminary Plat of Heritage Towers and delegate to staff the authority to approve should the proposed planned development zoning be passed and all deficiencies are addressed.

Need current tax certificate and title opinion if ROW is to be dedicated

# PRELIMINARY PLAT HERITAGE TOWERS ADDITION

Each department uses a different color for their comments. If you have a question about a certain comment, please contact the appropriate department:

- Pink Planning: 972-219-3455
- Green Engineering ...3421
- Red Building ...3472
- Blue Fire ...3466
- Orange Public Works ...3509
- Brown Parks ...3552
- Teal ADA ...3705

For this project a Preliminary Plat, Engineering Site Plan, Final Plat and Building Permits will be required.

This plat will be scheduled for the June 2 Planning and Zoning Commission meeting. Staff will recommend denial based on the comments provided. we will recommend the Commission delegate to staff the authority to approve the plat once compliance with deficiencies is achieved.

LOTS 1X-2X, 3, 4X, BLK A

22.33 ACRES

ZONED:  
PLANNED DEVELOPMENT- MIXED USE (PD-MU)

STEPHEN RIGGS SURVEY, ABSTRACT 1088

Not in compliance with current zoning per Ordinance No. 04255-11-15 thoroughfare plan, pedestrian network, landscaping plan, elevations, etc. New zoning application in review and pending.



SCALE 1"=1000'  
LOCATION MAP



MAY 2020

### BENCHMARK

R700HORTK  
N: 7081043.600  
E: 2421449.574  
Elev: 538.581  
Mag nail set at Eagle Point Marina

BM1VL  
N: 7074703.493  
E: 2420429.141  
Elev: 523.818  
1/2" Iron rod set with yellow GAI cap

BM2VL  
N: 7075197.511  
E: 2420618.748  
Elev: 559.213  
1/2" Iron rod set with yellow GAI cap

BM3VL  
N: 7074821.440  
E: 2422063.195  
Elev: 549.659  
X mark on median

BM4VL  
N: 7074017.982  
E: 2422182.090  
Elev: 556.655  
X mark on curb

### INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	OVERALL PRELIMINARY PLAT
3-4	PRELIMINARY PLAT
5	PRELIMINARY SITE PLAN
6	EXISTING DRAINAGE AREA MAP
7	PROPOSED DRAINAGE AREA MAP
8	PRELIMINARY DRAINAGE LAYOUT
9	PRELIMINARY WATER & SEWER LAYOUT

PRELIMINARY PLAT FOR REVIEW PURPOSE ONLY.  
RECOMMENDED FOR APPROVAL.

JAMES DAVIS, CHAIRMAN PLANNING & ZONING COMMISSION  
CITY OF LEWISVILLE, TEXAS

DATE

use language from appendix, below  
You have it correct on subsequent pages

#### SIGNATURE BLOCKS FOR PRELIMINARY PLATS

ONE OF THE FOLLOWING CERTIFICATES SHALL BE PLACED ON THE PRELIMINARY PLAT BY THE SUBDIVIDER:

##### (A) IF VARIANCES ARE REQUESTED:

1. I, THE SUBDIVIDER, HEREBY REQUEST:

\*Preliminary Plat for Review Purpose Only

Recommended for approval

Insert Name, Chairman, Planning & Zoning Commission

City of Lewisville, Texas

Date:

\*Approved for Preparation of Final Plat

Insert Name, Mayor/City of Lewisville, Texas

Date:

##### (B) IF NO VARIANCES ARE REQUESTED:

No Variances from the General Development Ordinance Provisions

Approved for Preparation of Final Plat

Insert Name, Chairman, Planning & Zoning Commission

City of Lewisville, Texas

Date:

OWNER / DEVELOPER

**LEWISVILLE SUMMIT, LLC**  
HUFFINES COMMUNITIES  
8200 DOUGLAS AVE. SUITE 300  
DALLAS, TEXAS 75225  
(214) 750-1300  
CONTACT: ELVIO BRUNI

ENGINEER / SURVEYOR

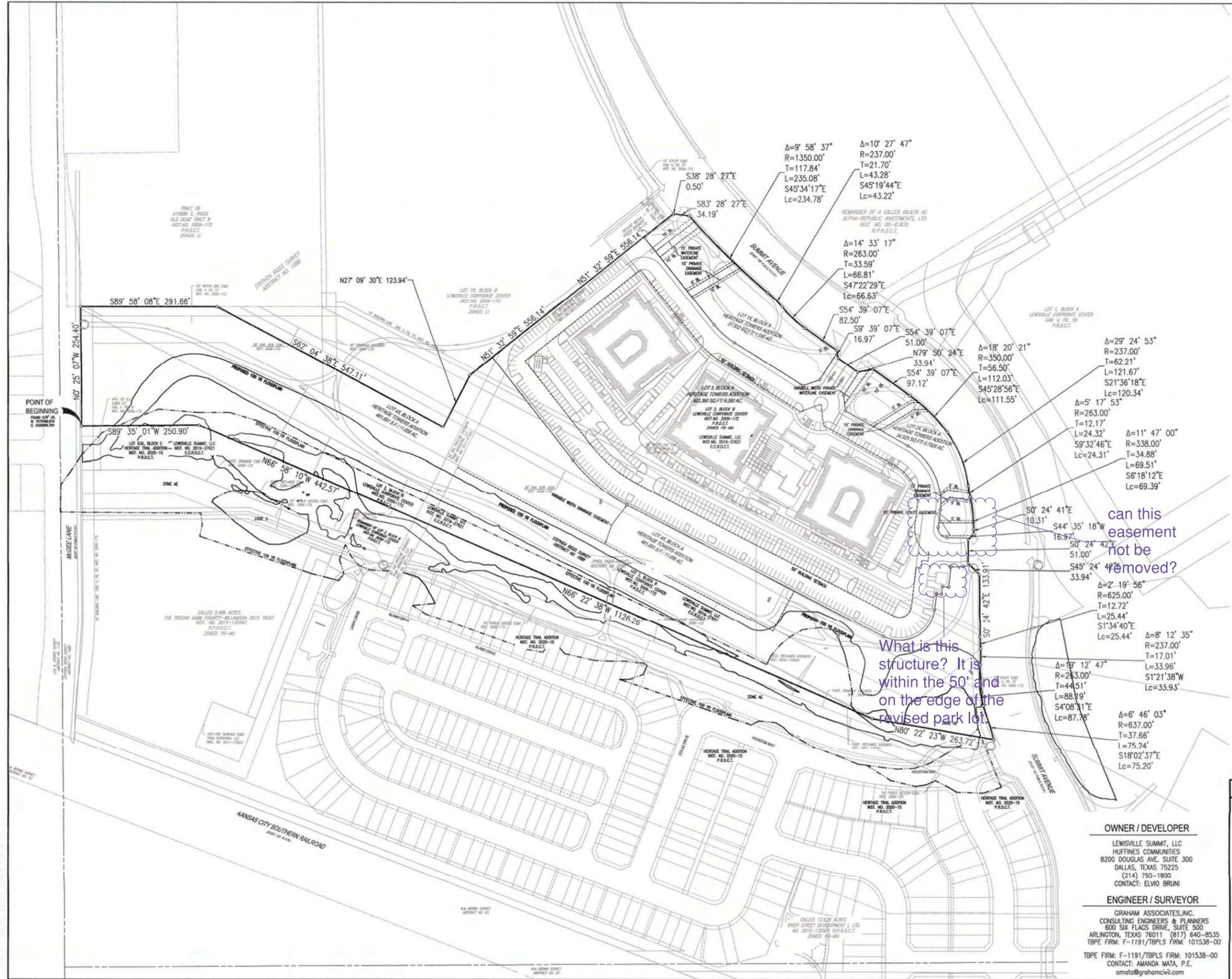


**Graham Associates, Inc.**  
CONSULTING ENGINEERS & PLANNERS  
600 SIX FLAGS DRIVE, SUITE 500  
ARLINGTON, TEXAS 76011 (817) 640-8535  
TBPE FIRM: F-1191/TBFLS FIRM: 101538-00  
CONTACT: JOSHUA STEIGER, P.E.  
jsteiger@grahamcivil.com



*Joshua Steiger*  
5-4-2020

CAUTION:  
 EXISTING UTILITIES AND UNDERGROUND FACILITIES OF THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION AND AS-BUILT PLANS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION.

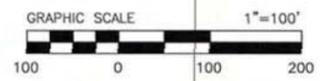


can this easement not be removed?

What is this structure? It is within the 50' and on the edge of the revised park lot.



*Josh Steiger*  
 5-4-2020



**OVERALL PRELIMINARY PLAT**

**PRELIMINARY PLAT FOR HERITAGE TOWERS ADDITION**

LOTS 1X, 2X, 3, 4X, BLOCK A  
 22.329 ACRES  
 ZONED:  
 PLANNED DEVELOPMENT- MIXED USE (PD-MU)  
 STEPHEN RIGGS SURVEY, ABSTRACT 1086

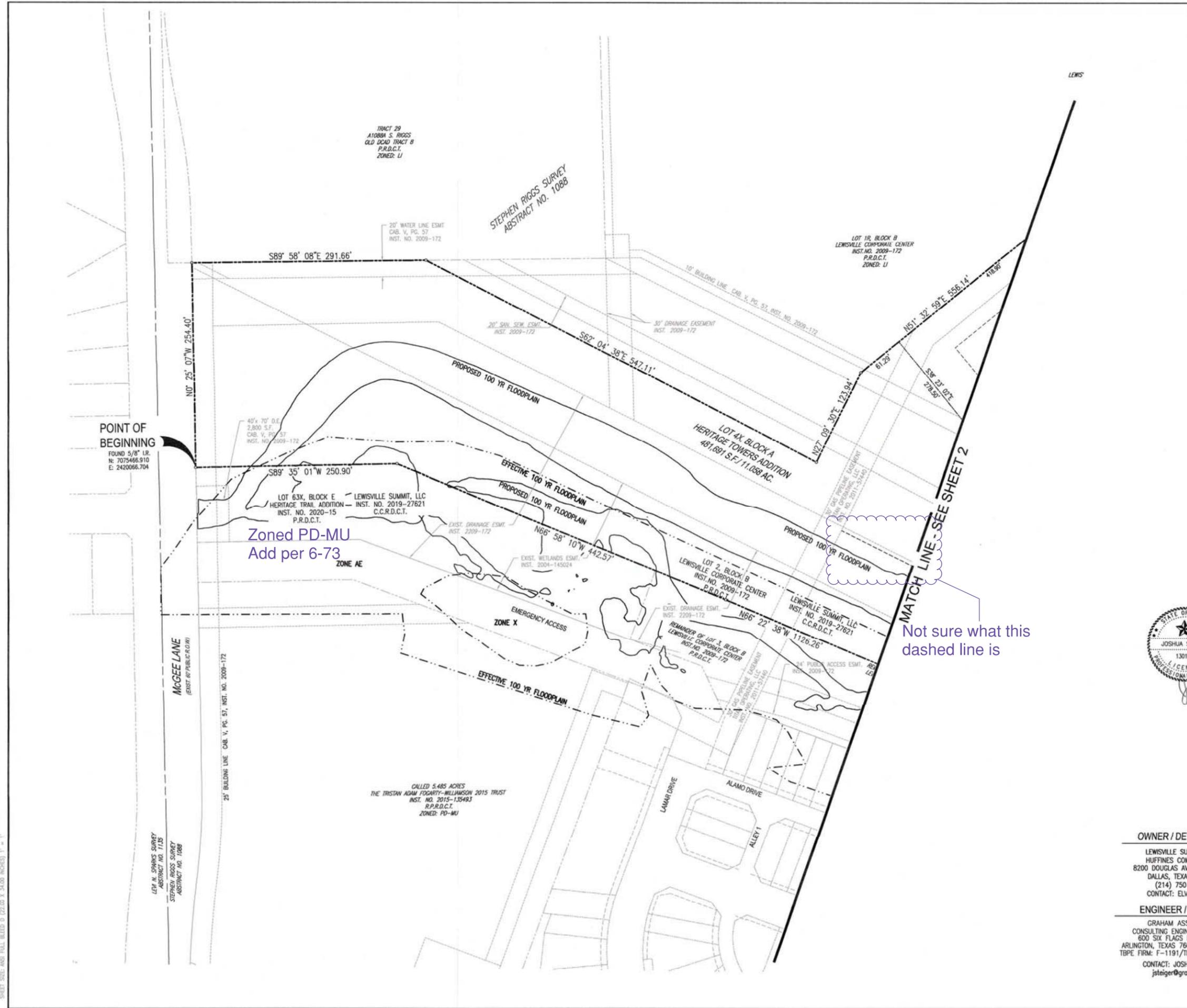
**OWNER / DEVELOPER**

LEWISVILLE SUMMIT, LLC  
 HUFFINES COMMUNITIES  
 8200 DOUGLAS AVE. SUITE 300  
 DALLAS, TEXAS 75225  
 (214) 750-1800  
 CONTACT: ELVO BRUNI

**ENGINEER / SURVEYOR**

GRAHAM ASSOCIATES, INC.  
 CONSULTING ENGINEERS & PLANNERS  
 600 SIX FLAGS DRIVE, SUITE 500  
 ARLINGTON, TEXAS 76011 (817) 640-8535  
 TBPE FIRM: F-1191/TBPLS FIRM: 101538-00  
 TBPE FIRM: F-1191/TBPLS FIRM: 101538-00  
 CONTACT: AMANDA MATA, P.E.  
 amata@grahamcivil.com

PLOTTED BY: EMMA HICKS  
 PLOTTED ON: 5/4/2020 2:00 PM  
 FILE NAME: LEWISVILLE\WAVE 2\CON\PRELIMINARY PLAT\WAVE2\WAVE2-PRELIMINARY PLOTTING  
 SHEET SIZE: A36 FULL BLEED 9 (24.00 X 36.00) INCHES 1" = 1'



SITE SUMMARY TABLE	
# UNITS	282
MINIMUM UNIT SIZE	504
UNIT DENSITY PER ACRE	30.5

**VICINITY MAP**  
 (1"=1000')

**LEGEND**

- BOUNDARY LINE
- - - EASEMENT
- BL = BUILDING LINE

**NOTES:**

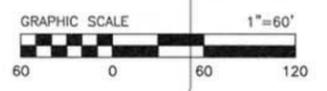
1. A PORTION OF THE SUBJECT PROPERTY LIES WITHIN THE 100-YEAR FLOODPLAIN, ZONE AE, AS PER FEMA FLOOD INSURANCE RATE MAP, CITY OF LEWISVILLE, TEXAS, COMMUNITY PANEL NO. 48121C0535 DATED APRIL 18, 2011.
2. NO KNOWN DEED RESTRICTIONS EXIST ON THIS PROPERTY.
3. PARK FEES TO BE PAID AT TIME OF FINAL PLAT
4. BASIS OF BEARING IS THE STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983. ADJUSTMENT REALIZATION 2011
5. ALL PROPERTY CORNERS ARE SET 1/2" IRON ROD WITH CAP STAMPED "GRAHAM ASSOC INC" UNLESS SHOWN OTHERWISE.

NO VARIANCES FROM THE GENERAL DEVELOPMENT ORDINANCE REQUESTED:  
 APPROVED FOR PREPARATION OF FINAL PLAT

JAMES DAVIS, CHAIRMAN PLANNING & ZONING COMMISSION      DATE \_\_\_\_\_  
 CITY OF LEWISVILLE, TEXAS



*Josh Steiger*  
 5-4-2020



**PRELIMINARY PLAT FOR HERITAGE TOWERS ADDITION**

LOTS 1X, 2X, 3, 4X, BLOCK A  
 22.329 ACRES

ZONED:  
 PLANNED DEVELOPMENT- MIXED USE (PD-MU)  
 STEPHEN RIGGS SURVEY, ABSTRACT 1088

MAY 2020

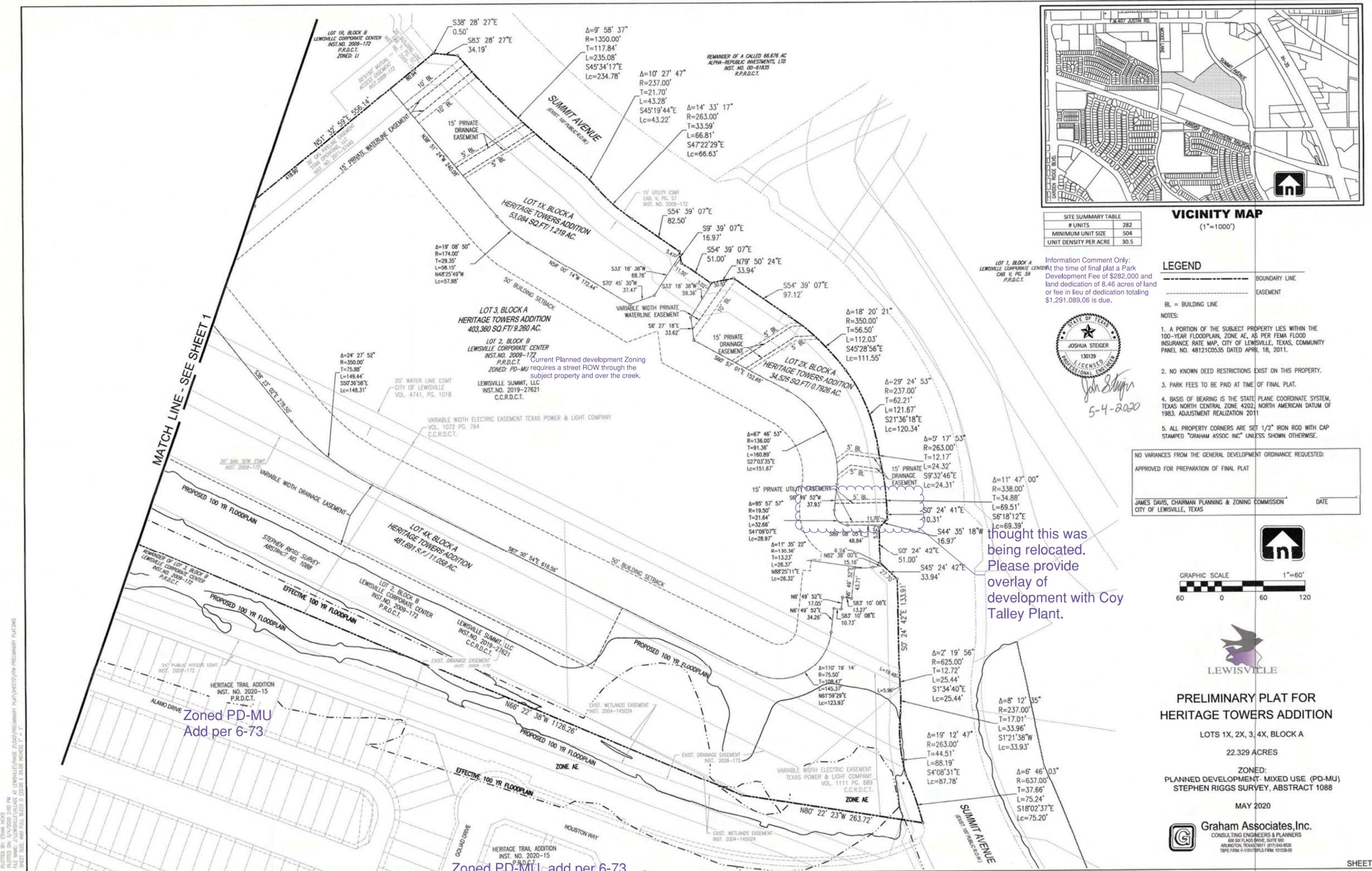
**Graham Associates, Inc.**  
 CONSULTING ENGINEERS & PLANNERS  
 600 SIX FLAGS DRIVE, SUITE 500  
 ARLINGTON, TEXAS 76011 (817) 640-8535  
 TYPE FIRM F-1191/TBPLS FIRM: 101538-00

**OWNER / DEVELOPER**  
 LEWISVILLE SUMMIT, LLC  
 HUFFINES COMMUNITIES  
 8200 DOUGLAS AVE. SUITE 300  
 DALLAS, TEXAS 75225  
 (214) 750-1800  
 CONTACT: ELMO BRUNI

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 TYPE FIRM: F-1191/TBPLS FIRM: 101538-00  
 CONTACT: JOSH STEIGER, P.E.  
 jsteiger@grahamcivl.com

Not sure what this dashed line is

MATCH LINE - SEE SHEET 2



SITE SUMMARY TABLE	
# UNITS	282
MINIMUM UNIT SIZE	504
UNIT DENSITY PER ACRE	30.5

**VICINITY MAP**  
(1"=1000')

**LEGEND**

- BOUNDARY LINE
- - - EASEMENT
- BL = BUILDING LINE

**NOTES:**

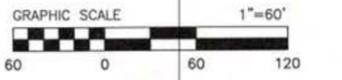
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- NO KNOWN DEED RESTRICTIONS EXIST ON THIS PROPERTY.
- PARK FEES TO BE PAID AT TIME OF FINAL PLAT.
- BASIS OF BEARING IS THE STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983. ADJUSTMENT REALIZATION 2011
- ALL PROPERTY CORNERS ARE SET 1/2" IRON ROD WITH CAP STAMPED "GRAHAM ASSOC. INC" UNLESS SHOWN OTHERWISE.



*John Steiger*  
5-4-2020

NO VARIANCES FROM THE GENERAL DEVELOPMENT ORDINANCE REQUESTED:  
APPROVED FOR PREPARATION OF FINAL PLAT

JAMES DAVIS, CHAIRMAN PLANNING & ZONING COMMISSION  
CITY OF LEWISVILLE, TEXAS



**PRELIMINARY PLAT FOR HERITAGE TOWERS ADDITION**

LOTS 1X, 2X, 3, 4X, BLOCK A

22.329 ACRES

ZONED:  
PLANNED DEVELOPMENT- MIXED USE (PD-MU)  
STEPHEN RIGGS SURVEY, ABSTRACT 1088

MAY 2020



MATCH LINE - SEE SHEET 1

Zoned PD-MU  
Add per 6-73

Zoned PD-MU, add per 6-73

thought this was  
being relocated.  
Please provide  
overlay of  
development with Coy  
Talley Plant.

PLOTTED BY: EDNA HICKS  
PLOTTED ON: 5/19/2020 10:40 AM  
PLOTTER: HP PLOTTER  
SHEET SIZE: A36 FULL BLEED @ (24.00 X 36.00) IN. @ 1" = 1'

**CAUTION:**  
 EXISTING UTILITIES AND UNDERGROUND FACILITIES OF THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION AND AS-BUILT PLANS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION.

PARKING SUMMARY		
TYPE	SPACES PROVIDED	REQUIRED
ADA (STANDARD)	8	6
ADA (VAN)	3	3
UNCOVERED	476	414
CARPORT	44	-
DETACHED GARAGE	20	-
ACCESSIBLE GARAGE	2	-
<b>TOTAL</b>	<b>553</b>	<b>423</b>

Parking not per current zoning Ordinance 04225-11-15. Zone change pending

Please provide overlay with Coy Talley Plan.

Site layout no conforming to current zoning Ordinance 04225-11-15. Zone change has been requested.

Please show detention area limits.

What is this dashed line



*John Steger*  
5-4-2020



**PRELIMINARY SITE PLAN**

**PRELIMINARY PLAT FOR HERITAGE TOWERS ADDITION**

LOTS 1X, 2X, 3, 4X, BLOCK A  
 22.33 ACRES  
 ZONED:  
 PLANNED DEVELOPMENT- MIXED USE (PD-MU)  
 STEPHEN RIGGS SURVEY ABSTRACT 1088

**OWNER / DEVELOPER**  
 LEWISVILLE SUMMIT, LLC  
 HUFFINES COMMUNITIES  
 8200 DOUGLAS AVE. SUITE 300  
 DALLAS, TEXAS 75225  
 (214) 750-1800  
 CONTACT: ELVIO BRUNI

**ENGINEER / SURVEYOR**  
 GRAHAM ASSOCIATES, INC.  
 CONSULTING ENGINEERS & PLANNERS  
 600 SIX FLAGS DRIVE, SUITE 500  
 ARLINGTON, TEXAS 76011 (817) 640-8535  
 TBPE FIRM: F-1191/TBPLS FIRM: 101538-00  
 CONTACT: AMANDA MATA, P.E.  
 amata@grahamcivil.com

Runoff Calculations							
ID	AREA	C	Ca	CCa	Tc	I	Q
EX1	2.23	0.40	1.25	0.50	17.67	7.48	8.34
EX2	2.72	0.40	1.25	0.50	14.31	8.00	10.88
EX3	2.25	0.40	1.25	0.50	14.83	7.92	8.91
EX4	0.92	0.40	1.25	0.50	10.00	8.80	4.05
EX5	6.20	0.40	1.25	0.50	31.13	5.91	18.32

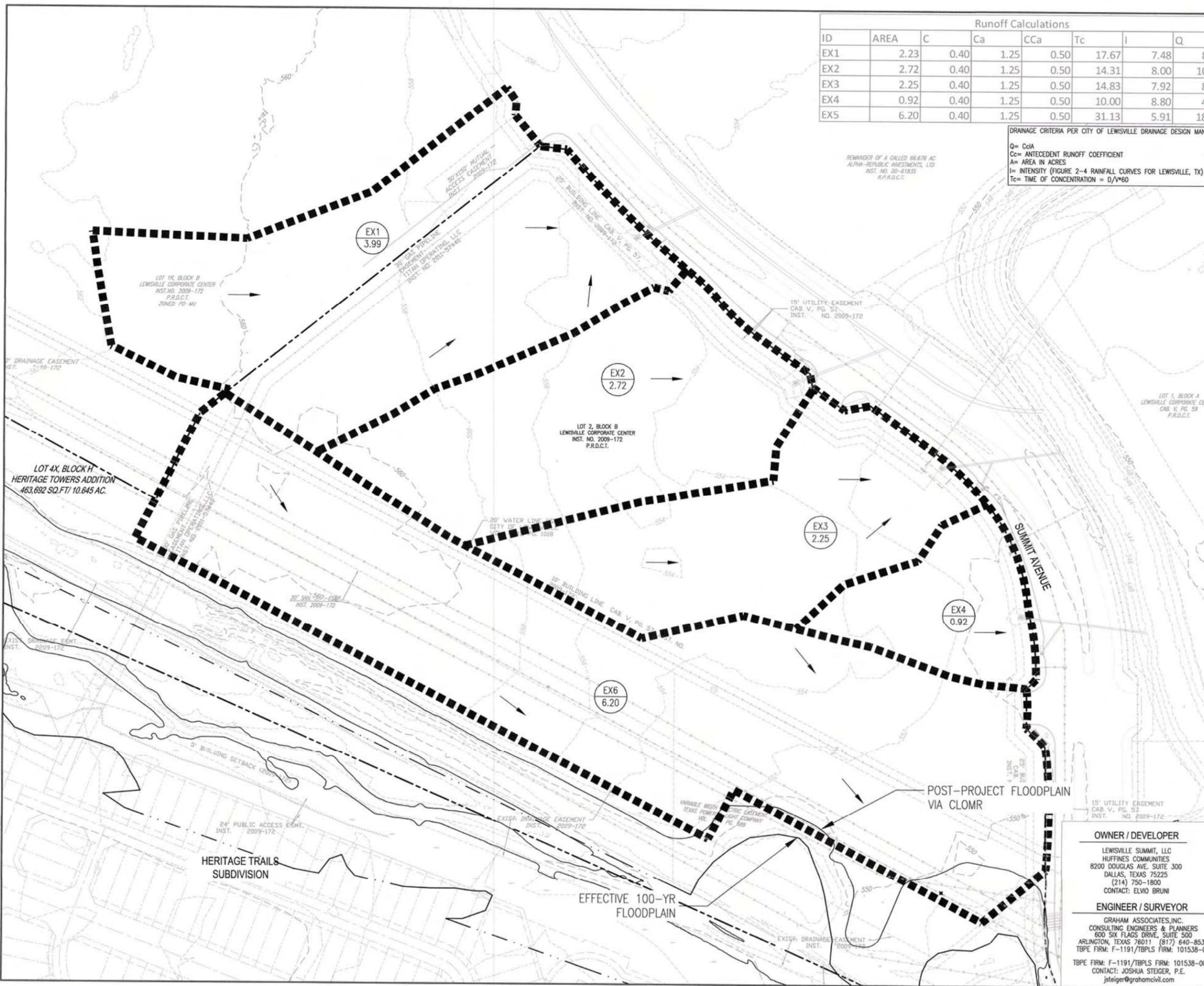
DRAINAGE CRITERIA PER CITY OF LEWISVILLE DRAINAGE DESIGN MANUAL

Q = CcIA  
 Cc = ANTECEDENT RUNOFF COEFFICIENT  
 A = AREA IN ACRES  
 I = INTENSITY (FIGURE 2-4 RAINFALL CURVES FOR LEWISVILLE, TX)  
 Tc = TIME OF CONCENTRATION = D/V<sup>0.60</sup>

**CAUTION:**  
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**LEGEND**

- DRAINAGE BOUNDARY
- DIRECTION OF FLOW
- AREA NO.  
AREA (Acres)
- PROPOSED INLET AND PIPES
- EXISTING INLET AND PIPES



*Josh Steiger*  
 5-4-2020



**EXISTING DRAINAGE AREA MAP**

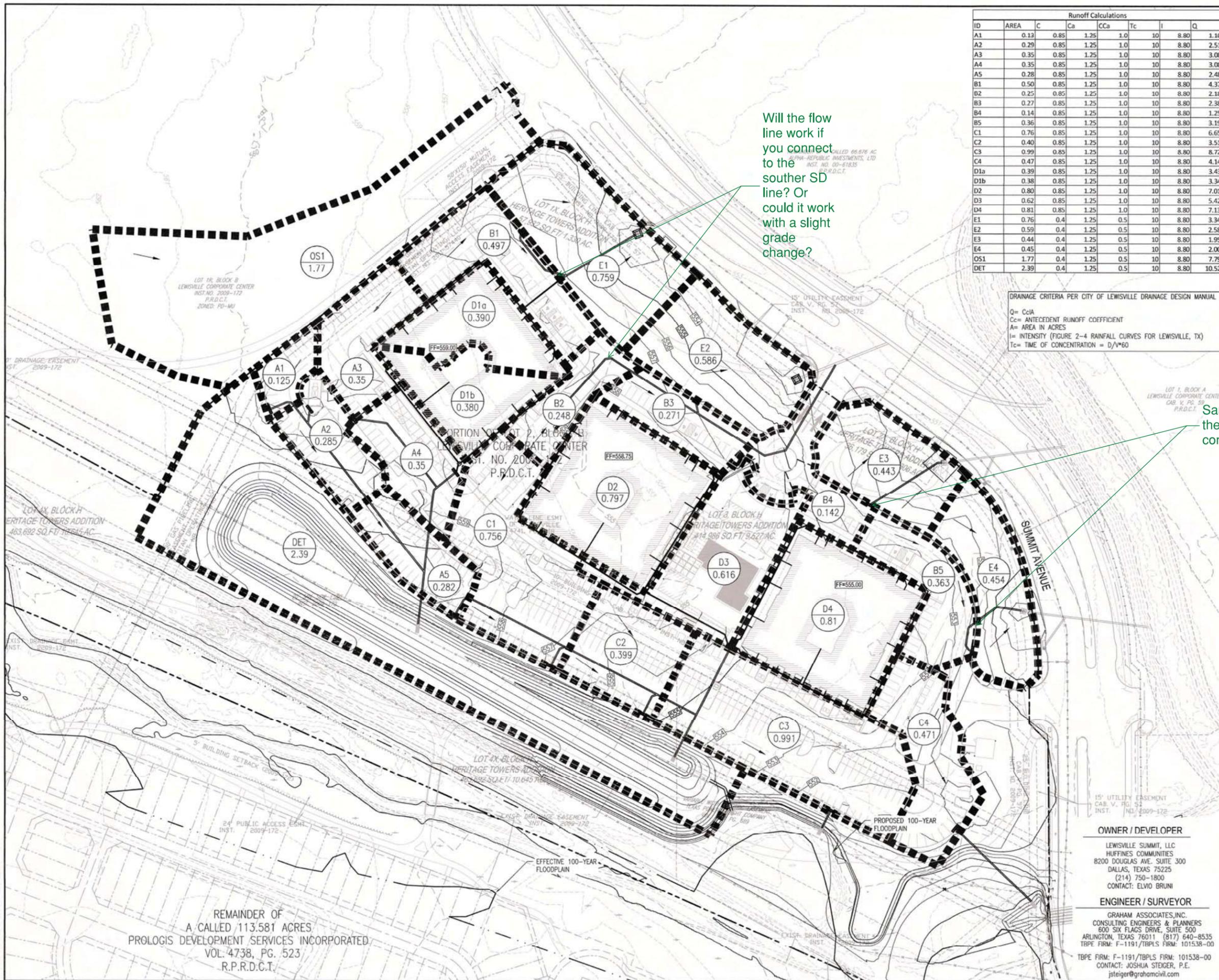
**PRELIMINARY PLAT FOR HERITAGE TOWERS ADDITION**

LOTS 1X-2X, 3, 4X, BLOCK A  
 22.33 ACRES  
 ZONED:  
 PLANNED DEVELOPMENT- MIXED USE (PD-MU)  
 STEPHEN RIGGS SURVEY, ABSTRACT 1088

**OWNER / DEVELOPER**  
 LEWISVILLE SUMMIT, LLC  
 HUFFINES COMMUNITIES  
 8200 DOUGLAS AVE. SUITE 300  
 DALLAS, TEXAS 75225  
 (214) 750-1800  
 CONTACT: ELVIO BRUNI

**ENGINEER / SURVEYOR**  
 GRAHAM ASSOCIATES, INC.  
 CONSULTING ENGINEERS & PLANNERS  
 600 SIX FLAGS DRIVE, SUITE 500  
 ARLINGTON, TEXAS 76011 (817) 640-8535  
 TBPE FIRM: F-1191/TBPLS FIRM: 101538-00

TBPE FIRM: F-1191/TBPLS FIRM: 101538-00  
 CONTACT: JOSHUA STEIGER, P.E.  
 jsteiger@grahamcivil.com



Runoff Calculations									
ID	AREA	C	Ca	CCa	Tc	I	Q		
A1	0.13	0.85	1.25	1.0	10	8.80	1.10		
A2	0.29	0.85	1.25	1.0	10	8.80	2.51		
A3	0.35	0.85	1.25	1.0	10	8.80	3.08		
A4	0.35	0.85	1.25	1.0	10	8.80	3.08		
A5	0.28	0.85	1.25	1.0	10	8.80	2.48		
B1	0.50	0.85	1.25	1.0	10	8.80	4.37		
B2	0.25	0.85	1.25	1.0	10	8.80	2.18		
B3	0.27	0.85	1.25	1.0	10	8.80	2.38		
B4	0.14	0.85	1.25	1.0	10	8.80	1.25		
B5	0.36	0.85	1.25	1.0	10	8.80	3.19		
C1	0.76	0.85	1.25	1.0	10	8.80	6.65		
C2	0.40	0.85	1.25	1.0	10	8.80	3.51		
C3	0.99	0.85	1.25	1.0	10	8.80	8.72		
C4	0.47	0.85	1.25	1.0	10	8.80	4.14		
D1a	0.39	0.85	1.25	1.0	10	8.80	3.43		
D1b	0.38	0.85	1.25	1.0	10	8.80	3.34		
D2	0.80	0.85	1.25	1.0	10	8.80	7.01		
D3	0.62	0.85	1.25	1.0	10	8.80	5.42		
D4	0.81	0.85	1.25	1.0	10	8.80	7.13		
E1	0.76	0.4	1.25	0.5	10	8.80	3.34		
E2	0.59	0.4	1.25	0.5	10	8.80	2.58		
E3	0.44	0.4	1.25	0.5	10	8.80	1.95		
E4	0.45	0.4	1.25	0.5	10	8.80	2.00		
OS1	1.77	0.4	1.25	0.5	10	8.80	7.79		
DET	2.39	0.4	1.25	0.5	10	8.80	10.52		

DRAINAGE CRITERIA PER CITY OF LEWISVILLE DRAINAGE DESIGN MANUAL  
 Q= CcIA  
 Cc= ANTECEDENT RUNOFF COEFFICIENT  
 A= AREA IN ACRES  
 I= INTENSITY (FIGURE 2-4 RAINFALL CURVES FOR LEWISVILLE, TX)  
 Tc= TIME OF CONCENTRATION = D/V\*60

CAUTION:  
 EXISTING UTILITIES AND UNDERGROUND FACILITIES OF THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION AND AS-BUILT PLANS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION.

**LEGEND**

- DRAINAGE BOUNDARY
- DIRECTION OF FLOW
- DA ACRES ← AREA NO.
- ← AREA (Acres)
- PROPOSED INLET AND PIPES
- EXISTING INLET AND PIPES

Will the flow line work if you connect to the souther SD line? Or could it work with a slight grade change?

Same with these connections



Josh Steiger  
5-4-2020



**PROPOSED DRAINAGE AREA MAP**

**PRELIMINARY PLAT FOR HERITAGE TOWERS ADDITION**

LOTS 1X-2X, 3, 4X, BLK A  
 22.33 ACRES

ZONED:  
 PLANNED DEVELOPMENT- MIXED USE (PD-MU)

STEPHEN RIGGS SURVEY, ABSTRACT 1088

**OWNER / DEVELOPER**

LEWISVILLE SUMMIT, LLC  
 HUFFINES COMMUNITIES  
 8200 DOUGLAS AVE. SUITE 300  
 DALLAS, TEXAS 75225  
 (214) 750-1800  
 CONTACT: ELVIO BRUNI

**ENGINEER / SURVEYOR**

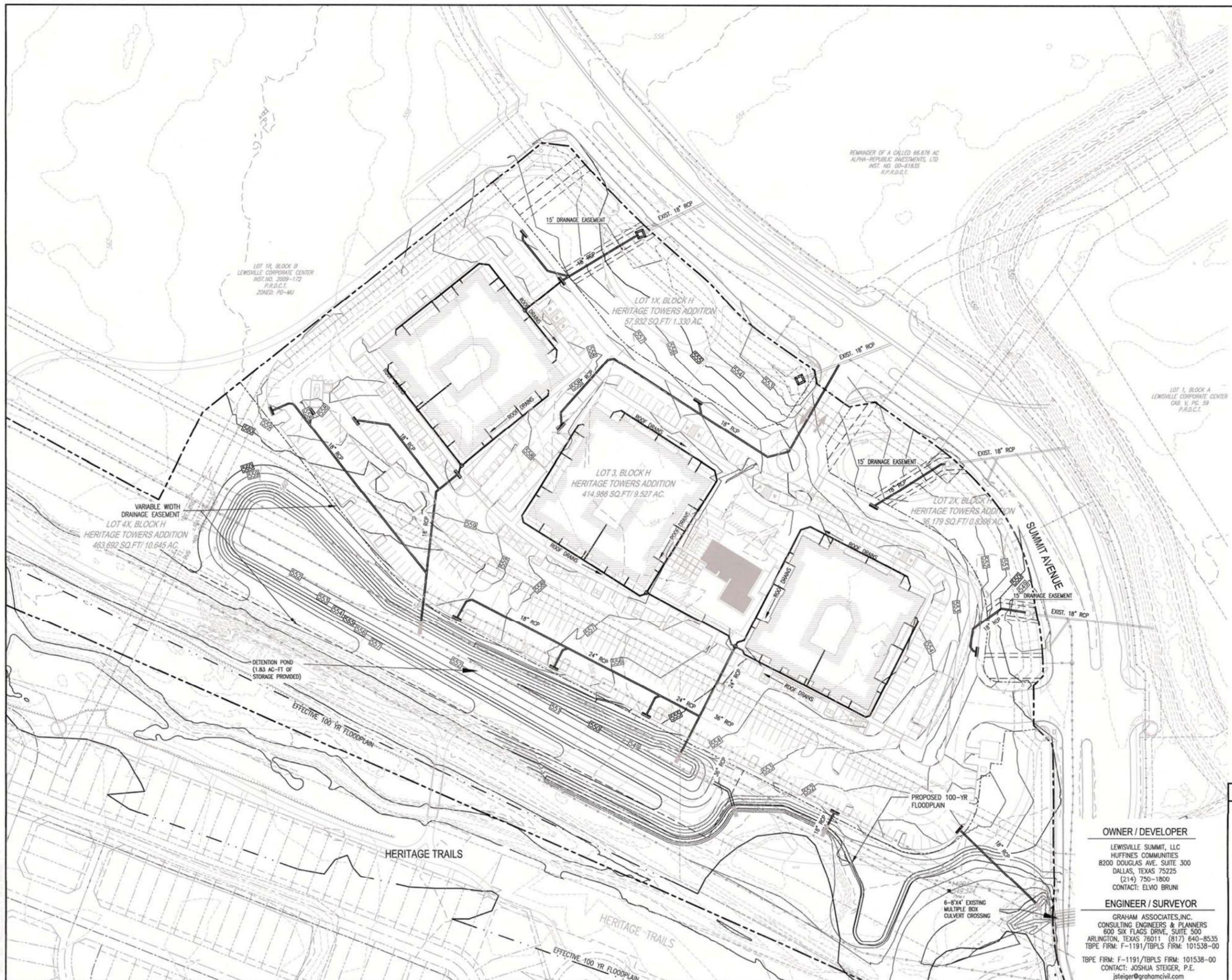
GRAHAM ASSOCIATES, INC.  
 CONSULTING ENGINEERS & PLANNERS  
 600 SIX FLAGS DRIVE, SUITE 500  
 ARLINGTON, TEXAS 76011 (817) 640-8535  
 TBPE FIRM: F-1191/TBPLS FIRM: 101538-00  
 CONTACT: JOSHUA STEIGER, P.E.  
 jsteiger@grahamcivil.com

REMAINDER OF A CALLED 113.581 ACRES  
 PROLOGIS DEVELOPMENT SERVICES INCORPORATED  
 VOL. 4738, PG. 523  
 R.P.R.D.C.T.

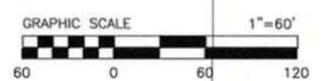
**CAUTION:**  
 EXISTING UTILITIES AND UNDERGROUND FACILITIES OF THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION AND AS-BUILT PLANS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION.

**LEGEND**

-  PROPOSED INLET AND PIPES
-  EXISTING INLET AND PIPES
-  PROPOSED MITERED HEADWALL



*Josh Steiger*  
 5-4-2020



**PRELIMINARY STORM LAYOUT MAP**

**PRELIMINARY PLAT FOR HERITAGE TOWERS ADDITION**

LOTS 1X-4X, 3, 4X, BLK A;  
 22.33 ACRES  
 ZONED:  
 PLANNED DEVELOPMENT- MIXED USE (PD-MU)  
 STEPHEN RIGGS SURVEY, ABSTRACT 1088

**OWNER / DEVELOPER**  
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 CONTACT: JOSHUA STEIGER, P.E.  
 jsteiger@grahamcivil.com

**CAUTION:**  
 EXISTING UTILITIES AND UNDERGROUND FACILITIES OF THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION AND AS-BUILT PLANS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION.

Why is this line needed if there are already two connections? You'll just need a valve between the two connections

Requesting 40 ft x 50 ft pad Sanitary Sewer Easement by separate instrument with a minimum 25 ft wide access easement. Pad site must be contiguous with existing sewer line easement.

**LEGEND**

	PROPOSED FIRE W.L.
	PROPOSED 8" W.L.
	PROPOSED 8" S.S.
	PROPOSED S.S. MH
	PROPOSED WALL MOUNTED FDC
	PROPOSED FIRE HYDRANT
	PROPOSED DCDC



*John Steiger*  
5-4-2020



**PRELIMINARY WATER & SEWER**

**PRELIMINARY PLAT FOR HERITAGE TOWERS ADDITION**

LOTS 1X, 2X, 3, 4X, BLK A

22.33 ACRES

ZONED:  
 PLANNED DEVELOPMENT- MIXED USE (PD-MU)

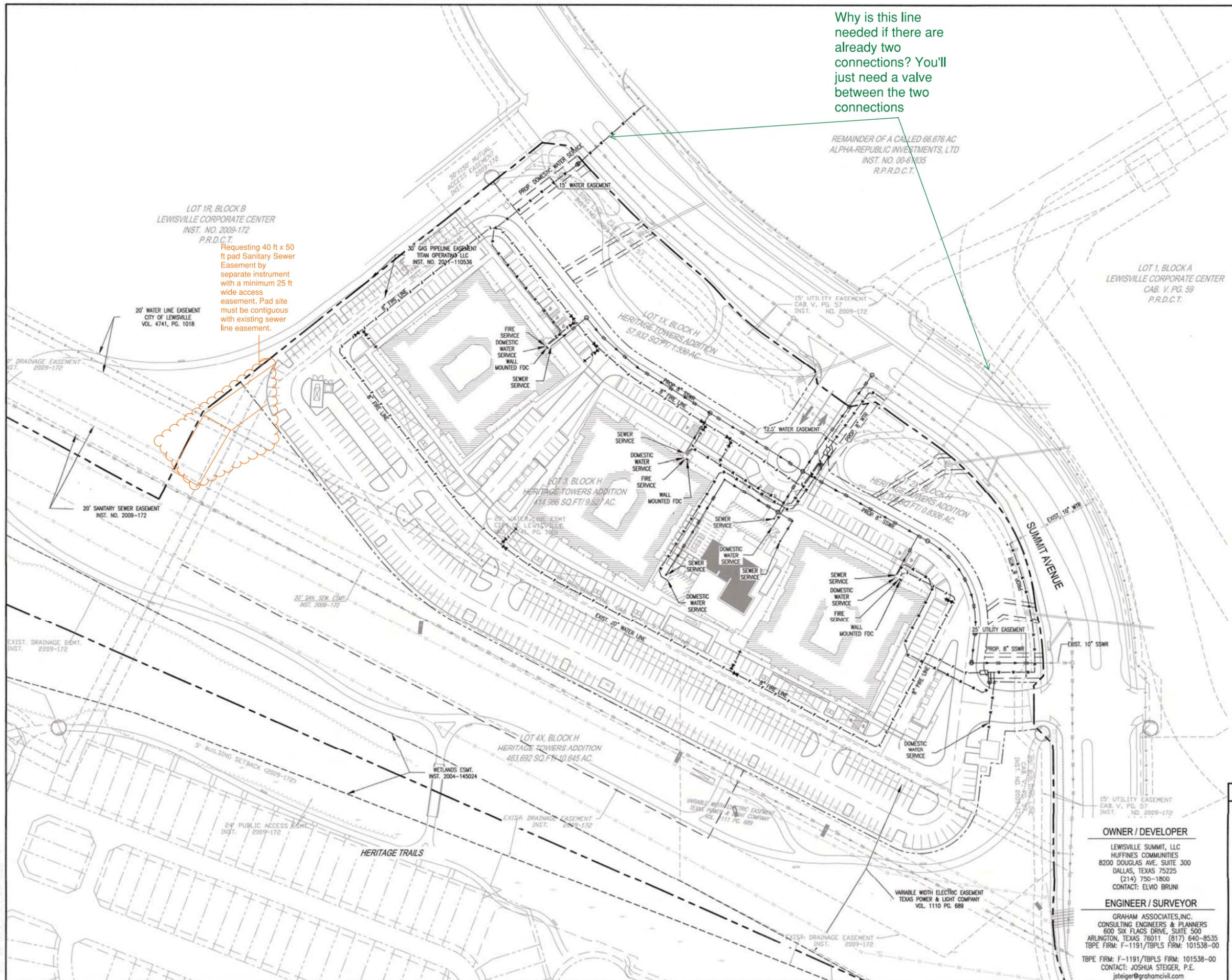
STEPHEN RIGGS SURVEY, ABSTRACT 1088

**OWNER / DEVELOPER**

LEWISVILLE SUMMIT, LLC  
 HUFFINES COMMUNITIES  
 8200 DOUGLAS AVE. SUITE 300  
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 jsteiger@grahamcivil.com



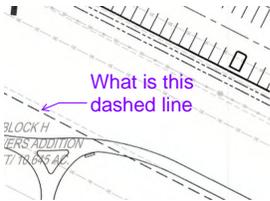
# 20-05-2-PP-2020-0504 Preliminary Plat Heritage Towers Addition.pdf Markup Summary

## Arrow (1)



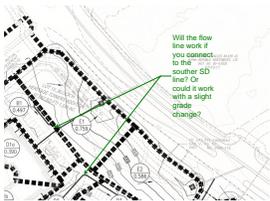
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## Callout (4)



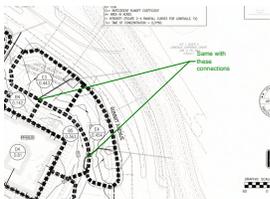
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**Page Label:** 5  
**Author:** mberry  
**Date:** 5/20/2020 2:14:41 PM  
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What is this dashed line



**Subject:** Callout  
**Page Label:** 7  
**Author:** DRussell  
**Date:** 5/22/2020 10:22:29 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Will the flow line work if you connect to the souther SD line? Or could it work with a slight grade change?



**Subject:** Callout  
**Page Label:** 7  
**Author:** DRussell  
**Date:** 5/22/2020 10:27:36 AM  
**Status:**  
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**Layer:**  
**Space:**

Same with these connections



**LEWISVILLE**

Deep Roots. Broad Wings. Bright Future.

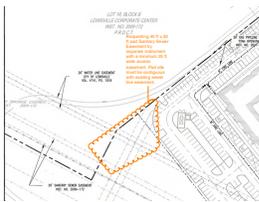


**Subject:** Callout  
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**Date:** 5/22/2020 11:30:13 AM  
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Why is this line needed if there are already two connections? You'll just need a valve between the two connections

---

**Cloud+ (1)**

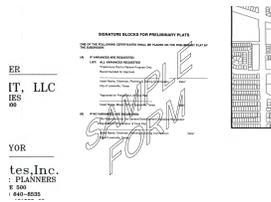


**Subject:** Cloud+  
**Page Label:** 9  
**Author:** kchearon  
**Date:** 5/20/2020 5:11:00 PM  
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**Space:**

Requesting 40 ft x 50 ft pad Sanitary Sewer Easement by separate instrument with a minimum 25 ft wide access easement. Pad site must be contiguous with existing sewer line easement.

---

**Image (1)**



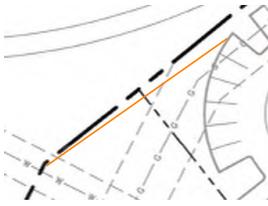
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**Date:** 5/12/2020 11:15:16 AM  
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**Line (2)**

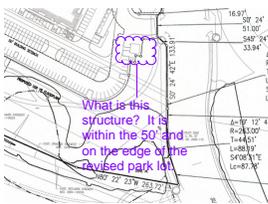


**Subject:** Line  
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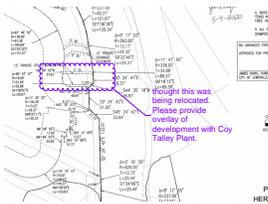
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**Space:**

**Planning Cloud (7)**



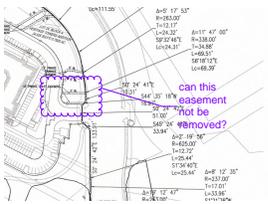
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**Author:** mberry  
**Date:** 5/12/2020 1:18:52 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

What is this structure?  
It is within the 50' and on the edge of the revised park lot.



**Subject:** Planning Cloud  
**Page Label:** 4  
**Author:** mberry  
**Date:** 5/12/2020 10:34:15 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

thought this was being relocated. Please provide overlay of development with Coy Talley Plant.



**Subject:** Planning Cloud  
**Page Label:** 2  
**Author:** mberry  
**Date:** 5/12/2020 11:31:34 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

can this easement not be removed?



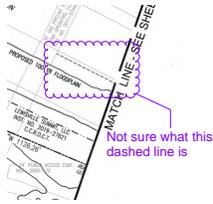
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**Space:**

use language from appendix, below  
You have it correct on subsequent pages



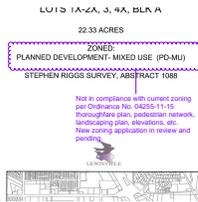
**LEWISVILLE**

Deep Roots. Broad Wings. Bright Future.



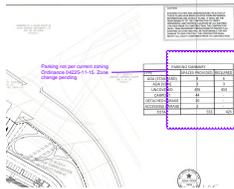
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Not sure what this dashed line is



**Subject:** Planning Cloud  
**Page Label:** 1  
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**Date:** 5/20/2020 1:52:41 PM  
**Status:**  
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**Space:**

Not in compliance with current zoning per Ordinance No. 04255-11-15 thoroughfare plan, pedestrian network, landscaping plan, elevations, etc. New zoning application in review and pending.



**Subject:** Planning Cloud  
**Page Label:** 5  
**Author:** mberry  
**Date:** 5/20/2020 2:16:05 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Parking not per current zoning Ordinance 04225-11-15. Zone change pending

**Rectangle (1)**



**Subject:** Rectangle  
**Page Label:** 9  
**Author:** kchearon  
**Date:** 5/15/2020 8:07:22 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



**LEWISVILLE**

Deep Roots. Broad Wings. Bright Future.

Text Box (10)



**Subject:** Text Box  
**Page Label:** 1  
**Author:** mberry  
**Date:** 5/12/2020 11:09:44 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Need current tax certificate and title opinion if ROW is to be dedicated



**Subject:** Text Box  
**Page Label:** 5  
**Author:** mberry  
**Date:** 5/12/2020 12:37:45 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Please provide overlay with Coy Talley Plan.



**LEWISVILLE**  
 Deep Roots. Broad Wings. Bright Future.

PRELIMINARY PLAT  
 HERITAGE

Each department uses a different color for their comments. If you have a question about a certain comment, please contact the appropriate department:  
 Pink Planning (972) 219-3455  
 Green Engineering ... 3421  
 Red Building ... 3472  
 Blue Fire ... 3466  
 Orange Public Works ... 3509  
 Brown Parks ... 3552  
 Teal ADA ... 3705

PLANNE  
 STEP

For this project a Preliminary Plat, Engineering Site Plan, Final Plat and Building Permits will be required.  
 The plat will be scheduled for the June 2 Planning and Zoning Commission meeting. Staff will recommend denial based on the comments provided, we will recommend the Commission delegate to staff the authority to approve the plat once compliance with deficiencies is achieved.

**Subject:** Text Box  
**Page Label:** 1  
**Author:** mberry  
**Date:** 5/20/2020 2:07:19 PM  
**Status:**  
**Color:** [Red]  
**Layer:**  
**Space:**

Each department uses a different color for their comments. If you have a question about a certain comment, please contact the appropriate department:  
 Pink Planning:  
 972-219-3455  
 Green Engineering ... 3421  
 Red Building ... 3472  
 Blue Fire ... 3466  
 Orange Public Works ... 3509  
 Brown Parks ... 3552  
 Teal ADA ... 3705

For this project a Preliminary Plat, Engineering Site Plan, Final Plat and Building Permits will be required.  
 This plat will be scheduled for the June 2 Planning and Zoning Commission meeting. Staff will recommend denial based on the comments provided. we will recommend the Commission delegate to staff the authority to approve the plat once compliance with deficiencies is achieved.

MINIMUM UNIT SIZE	504
UNIT DENSITY PER ACRE	30.5

Information Comment Only:  
 At the time of final plat a Park Development Fee of \$282,000 and land dedication of 8.46 acres of land or fee in lieu of dedication totaling \$1,291,089.06 is due.

LEG  
 ---  
 ---  
 ---  
 BL =  
 NOTES:  
 1. A P  
 100--YE

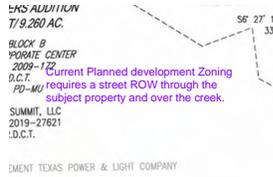
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**Author:** mberry  
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Information Comment Only:  
 At the time of final plat a Park Development Fee of \$282,000 and land dedication of 8.46 acres of land or fee in lieu of dedication totaling \$1,291,089.06 is due.



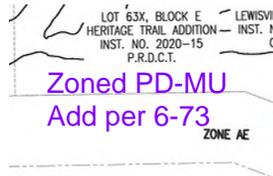
**LEWISVILLE**

Deep Roots. Broad Wings. Bright Future.



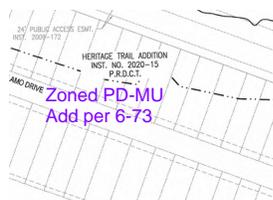
**Subject:** Text Box  
**Page Label:** 4  
**Author:** mberry  
**Date:** 5/20/2020 2:07:59 PM  
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Current Planned development Zoning requires a street ROW through the subject property and over the creek.



**Subject:** Text Box  
**Page Label:** 3  
**Author:** mberry  
**Date:** 5/20/2020 2:11:49 PM  
**Status:**  
**Color:** ■  
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**Space:**

Zoned PD-MU  
Add per 6-73



**Subject:** Text Box  
**Page Label:** 4  
**Author:** mberry  
**Date:** 5/20/2020 2:12:02 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Zoned PD-MU  
Add per 6-73



**Subject:** Text Box  
**Page Label:** 4  
**Author:** mberry  
**Date:** 5/20/2020 2:12:20 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Zoned PD-MU, add per 6-73



**Subject:** Text Box  
**Page Label:** 5  
**Author:** mberry  
**Date:** 5/20/2020 2:15:01 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Please show detention area limits.



**LEWISVILLE**

Deep Roots. Broad Wings. Bright Future.



Site layout no conforming to current zoning Ordinance 04225-11-15. Zone change has been requested.



**Subject:** Text Box  
**Page Label:** 5  
**Author:** mberry  
**Date:** 5/20/2020 2:16:44 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Site layout no conforming to current zoning Ordinance 04225-11-15. Zone change has been requested.

## MEMORANDUM

**TO:** Planning & Zoning Commission

**FROM:** Michele Berry, Planning Manager

**DATE:** June 2, 2020

**SUBJECT:** **PUBLIC HEARING:** Consideration of a Zone Change Request from Planned Development – Mixed Use District (PD-MU) To Planned Development – Mixed Use District (PD-MU) to Amend the Existing Planned Development; on an Approximately 90.588-Acre Tract of Land out of the Stephen Riggs Survey, Abstract No. 1088 and the WM. Brown Survey, Abstract No. 63; Located on Both the East and West Sides of Summit Avenue North of the Kansas City Southern Railroad and Grandy’s Lane with Frontage on the West Side of I-35E (North Stemmons Freeway) and the East Side of McGee Lane, as Requested by the City of Lewisville, the Applicant. (Case No. 19-11-4-PZ)

### BACKGROUND

This case was previously reviewed and recommended for approval by the Planning and Zoning Commission on February 2, 2020. The project was paused, minor revisions were made, and is now going through the public hearing process again.

In 2015 the subject site was part of a large vacant area extending along the west side of North Stemmons Freeway (I-35E) northward from the Kansas City Southern Railroad (KCSR) to Garden Ridge Boulevard that had for many years been envisioned as a light industrial business park. Land use evaluations conducted in conjunction with the I-35E Corridor Plan and the Lewisville 2025 Plan concluded that the highest and best land use for this area of the City would be mixed use in the form of urban style retail/office/residential rather than the light industrial uses previously envisioned.

The property was rezoned in 2015 to the Village at Lewisville Planned Development District. That district utilized a form-based code approach to give the developer substantial flexibility and allowed up to 1,925 residential units (1,625 multifamily and 300 single-family). As initial development has begun in the Village at Lewisville it is time to amend the zoning to provide a clear concept plan and development guidelines. Two projects are currently in the construction process. This zoning amendment reflects those projects and reaffirms their zoning and design. The revised Planned Development district with concept plan will make future administration more streamlined and give adjacent property owners more clarity about what will be built in the area.

### ANALYSIS

Summary of major changes with this Planned Development amendment:

*Residential Density* – Overall the number of permitted multifamily units is reduced from 1,625 units to 647 units and the number of single-family townhomes between the two districts remains 300.

*Thoroughfare Plan* – The previous thoroughfare plan required a street bridge over the drainageway and wetlands to join what is now the Townhome 2 Subdistrict and Multifamily 1 Subdistrict. This street is being removed due to the reduced density. A pedestrian bridge will be provided as part of the enhancements of the drainage way and wetlands.

*Format* – The Planned Development now follows our standard template and provides a regulatory concept plan. This change improves predictability of development and administration.

The proposed Planned Development (PD) for The Village at Lewisville presents five subdistricts with unique development standards:

*Townhome 1 Subdistrict* – This subdistrict is being developed currently by Huffines with 250 townhomes. A final plat with variances was previously approved. This Planned Development zoning amendment incorporates the plan being built. The following variances for the Townhome 1 Subdistrict granted by the City Council on August 19, 2019 and November 18, 2019 are incorporated into this planned development district:

- a. Dead end streets may terminate with an approved cul-de-sac having an outside minimum radius of 42 feet from the right-of-way line.
- b. A minimum public street right-of-way width of 45 feet is permitted with a 7.5-foot utility easement on each side as necessary for private utilities, for a total width of 60 feet.
- c. Alleys are permitted to have a 24-foot wide right-of-way with 24 feet of paving to provide fire and emergency access to townhomes that are not located along a public street and have no other means of emergency access. Such alleys shall be marked as fire lanes with no parking per city ordinance.
- d. Public water lines (not irrigation piping) may be installed under public street pavement within the right-of-way.
- e. Corner lots may have a minimum lot width of 12 feet along curved streets and cul-de-sacs and control of access at a residential street intersection shall be 15 feet.
- f. The required clear vision areas shall be based on AASHTO standards instead of the city standard of 45 feet by 45 feet.
- g. The parkland dedication requirement (or cash-in-lieu of parkland dedication) for Heritage Trail shall be paid prior to the building final of the first townhome or June 30, 2020; whichever occurs first.

The following variances for the Townhome 1 Subdistrict are requested in conjunction with this planned development district:

- a. Trees required by the Lewisville Code of Ordinances to be planted on residential lots may be planted in the front, side, or rear yard of the lot. If a lot does not contain sufficient area to plant all required trees, trees may be planted in another open space area located outside of any easements as approved by the Director of Planning.
- b. Screening along Summit Avenue shall be living screening consistent with **Attachment 13** in lieu of the required masonry screening wall.
- c. The minimum parking requirement is reduced from three spaces per unit to two spaces per unit with the requirement that one guest space be provided for every four units.
- d. The parkland dedication requirement (or cash-in-lieu of parkland dedication) for the Townhome 1 Subdistrict shall be paid prior to the building final of the first townhome or December 31, 2020; whichever occurs first.

*Townhome 2 Subdistrict* – This subdistrict is the current gas well site. This Planned Development zoning amendment would allow townhomes compatible to the Townhome 1 Subdistrict to be built there if and when the gas well operations cease, and the well is capped. Single family detached dwellings and assisted living are also allowed. No concept plan has been prepared at this time. Based on the acreage and maximum density it would be limited to 450 single family attached or detached dwelling units. There are two variances requested with this subdistrict:

- a. Screening along McGee Lane shall be living screening consistent with **Attachment 13** in lieu of the required masonry screening wall.
- b. Trees required by the Lewisville Code of Ordinances to be planted on residential lots may be planted in the front, side, or rear yard of the lot. If a lot does not contain sufficient area to plant all required trees, trees may be planted in another open space area located outside of any easements as approved by the Director of Planning.

*Multifamily 1 Subdistrict* – This subdistrict is planned to be developed by Huffines and includes three multifamily residential buildings with no more than 300 residential units. Four variances are requested with this subdistrict;

- a. A minimum parking requirement reduction to 1.6 parking spaces per unit in lieu of the required 2 parking spaces per unit.
- b. Paving over the existing 20-inch water line with the owner being responsible for repairing or replacing pavement due to the city repairing or replacing the water line.
- c. The aggregate total of all exterior wall elevations (excluding doors and windows) on a building shall consist of not less than 60 percent brick veneer, and no single wall elevation shall consist of less than 60 percent brick veneer.

- d. Any parkland dedication for the Multifamily 1 Subdistrict shall be made after all amenities are installed in accordance with the Open Space Amenities Plan shown in **Attachment 4**. No certificate of occupancy for any buildings shall be issued until the parkland dedication is provided. Any cash-in-lieu of parkland dedication shall be provided at time of final plat.

*Multifamily 2 Subdistrict* – This subdistrict is currently being developed by NRP. Variances were previously approved by City Council. This subdistrict will have 347 units. This PD amendment incorporates the plan being built. The following variances have previously been granted by the City Council on April 1, 2019 and April 15, 2019 to development in the Multifamily 2 Subdistrict and are incorporated into the Planned Development for reference:

- a. The maximum gap for a parking lot between buildings of 70 feet may be exceeded as shown in Attachment 8.
- b. Parking within 60 feet of an intersection as shown in Attachment 8 is allowed but it must maintain the city standard of no parking within 20 feet of a cross walk.
- c. The required 80% masonry may be decreased by demonstrating an alternative method of achieving the standard of quality with the proposed allocation of masonry materials.
- d. A six-foot sidewalk with strategic sidewalk connections to the parallel parking is allowed in lieu of providing an eight-foot sidewalk along the two east/west shared access drives.
- e. An oversized approach apron is allowed in lieu of a right turn lane for the northern ancillary entry off of Interstate I-35E frontage.
- f. The parkland dedication requirement (or cash-in-lieu of parkland dedication) shall be paid prior to the issuance of the final certificate of occupancy.

*Commercial Subdistrict* – This subdistrict is along the freeway and requires a minimum of 55,000 square feet of commercial space to reflect the minimum ground floor commercial space required under the current planned development. The design standards included also reflect the current Planned Development regulations. There will be no residential units.

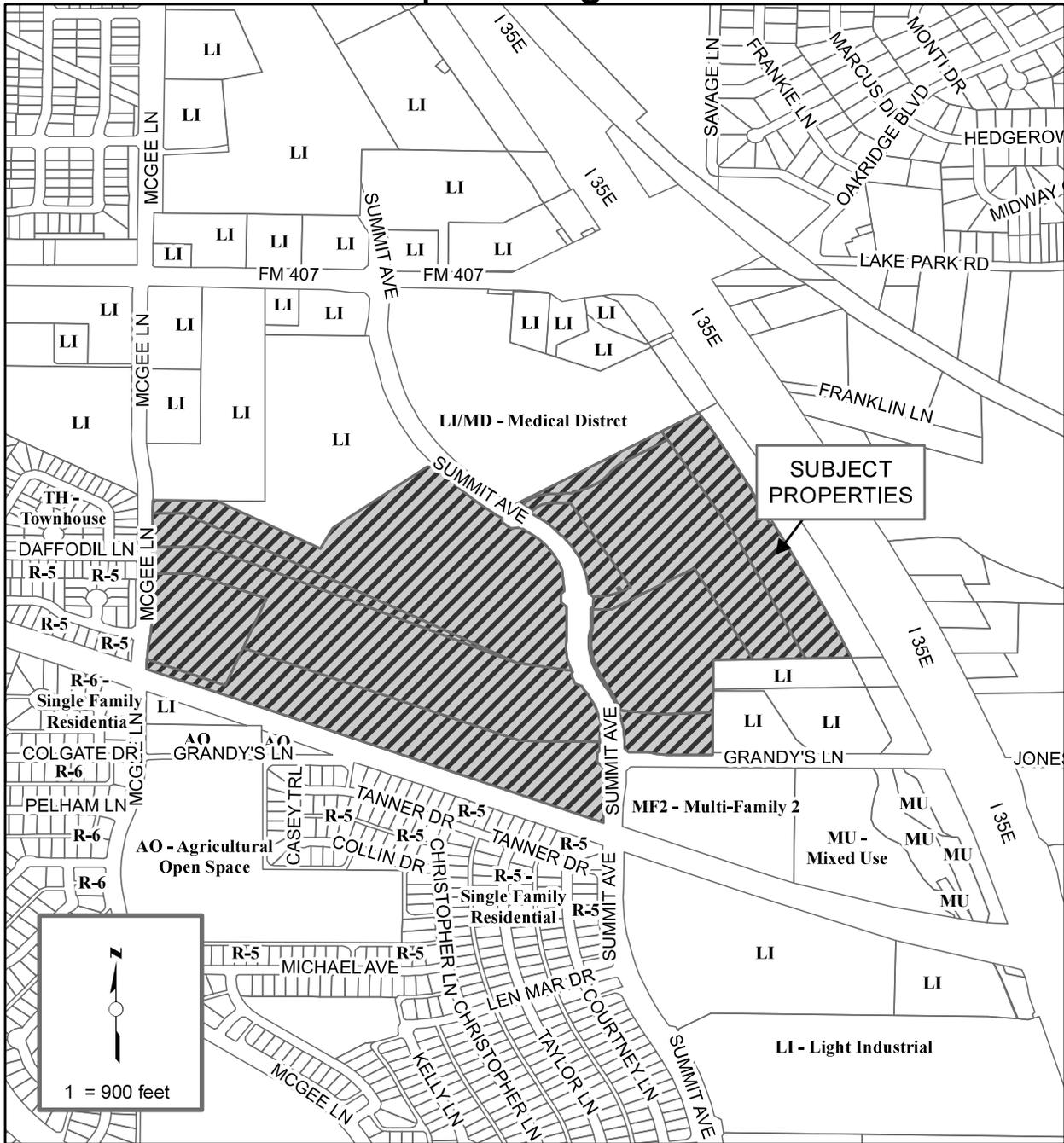
## **RECOMMENDATION**

That the Planning and Zoning Commission recommend approval of the requested zone change from Planned Development-Mixed Use District (PD-MU) to Planned Development-Mixed Use District (PD-MU) with the amended concept plan as submitted.

# Aerial Map - Villages at Lewisville



# Location Map - Villages at Lewisville



**ZONING CASE NO. 19-11-4-PZ**

**APPLICANT:** CITY OF LEWISVILLE

**PROPERTY LOCATION:** STEPHEN RIGGS SURVEY, ABSTRACT NO. 1088 AND W.M. BROWN SURVEY, ABSTRACT NO. 63 (90.588-ACRES) LOCATED ON BOTH THE EAST AND WEST SIDES OF SUMMIT AVENUE, NORTH OF THE KANSAS CITY SOUTHERN RAILROAD AND GRANDY'S LANE WITH FRONTAGE ON THE WEST SIDE OF I-35E (NORTH STEMMONS FREEWAY) AND THE EAST SIDE OF MCGEE LANE

**CURRENT ZONING:** PLANNED DEVELOPMENT – MIXED USE DISTRICT (PD-MU)

**REQUESTED ZONING:** PLANNED DEVELOPMENT – MIXED USE DISTRICT (PD-MU)

## EXHIBIT B

### DEVELOPMENT STANDARDS

#### I. PROJECT LOCATION

This planned development district consists of 90.588 acres of property located on the east and west sides of Summit Avenue north of the Kansas City Southern Railroad and Grandy's Lane with frontage on the west side of I-35E (North Stemmons Freeway) and the east side of McGee Lane, as more specifically described in **Exhibit A** (the "District").

#### II. PURPOSE AND INTENT

##### A. Purpose and Intent:

1. The purpose and intent of this planned development district is to create an outstanding neighborhood with streets and open space that encourage pedestrian activity by providing for a mix of uses, including townhomes, multifamily, commercial and associated open space and encouraging creativity while maintaining quality standards.
2. This district shall be developed in multiple phases.

#### III. GENERAL REGULATIONS & APPLICABILITY

A. **Subdistricts:** Within the limits of the District there are five subdistricts: the Townhome 1 Subdistrict, the Townhome 2 Subdistrict, the Multifamily 1 Subdistrict, the Multifamily 2 Subdistrict, and the Commercial Subdistrict. The geographic limits of each subdistrict are described in **Exhibit A** and depicted in **Attachment 1**.

B. **Applicability:** The development standards outlined in this ordinance and the following attachments are regulatory, unless otherwise specified herein, and shall apply to the use and development of all property within the District, unless otherwise specified herein. In the event of a conflict between an attachment and the development standards outlined herein, the development standards outlined herein shall control.

1. **Attachment 1** (Concept Plan) establishes the location of all subdistricts, and the location of buildings, streets, driveways, parking lots and open spaces for all subdistricts other than the Townhome 2 Subdistrict.
2. **Attachment 2** (Townhome Lot Layout) establishes the required locations of lot lines, easements, setbacks, sidewalks and driveways for rear and front entry townhome lots in the Townhome 1 Subdistrict.
3. **Attachment 3** (Townhome 1 and 2 Subdistrict Elevations) establishes the required exterior building materials and architectural design for townhomes

within the Townhome 1 Subdistrict and provides illustrative guidance for building materials and architectural design for townhomes in the Townhome 2 Subdistrict.

4. **Attachment 4** (Open Space Amenities Plan) establishes the location and types of required amenities in open space for Townhome 1, Multifamily 1 and Multifamily 2 Subdistricts.
5. **Attachment 5** (Townhome 1 Subdistrict Planting Plan) establishes the type, location and size of required planting materials for open space within the Townhome 1 Subdistrict.
6. **Attachment 6** (Fencing Plan) establishes required location and materials for fences within the Townhome 1 Subdistrict.
7. **Attachment 7** (Multifamily 1 Subdistrict Elevations) establishes the required exterior building materials and architectural design for multifamily buildings within the Multifamily 1 Subdistrict.
8. **Attachment 8** (Multifamily 2 Subdistrict Concept Plan) establishes in greater detail the location of buildings, streets, driveways and parking lots within the Multifamily 2 Subdistrict.
9. **Attachment 9** (Multifamily 2 Subdistrict Elevations) establishes required exterior building materials and architectural design for multifamily buildings within the Multifamily 2 Subdistrict.
10. **Attachment 10** (Thoroughfare Plan) establishes the street classification of required public and private streets, which are color-coded by street classification.
11. **Attachment 11** (Street Sections) establishes the widths of right-of-way, easements, travel lanes, parking configurations, sidewalks and parkways along with the locations of utilities and street trees for residential street classifications identified in **Attachment 10**. It also establishes the width of pavement, travel lanes, parking configurations, and median allowances for commercial street classifications.
12. **Attachment 12** (Townhome 1 Subdistrict Cul-de-sac Layout) establishes the required geometric measurements of cul-de-sacs located within the Townhome 1 Subdistrict.
13. **Attachment 13** (Screening at Summit and McGee) establishes the required masonry columns and evergreen screening hedges along Summit Avenue and McGee Lane adjacent to the Townhome 1 and 2 Subdistricts.
14. **Attachment 14** (Commercial Subdistrict Concept Plan) establishes the location of all non-residential buildings, streets, driveways and parking lots, within the Commercial Subdistrict. Attachment 14 is not regulatory with regard to the Multifamily 2 Subdistrict.
15. **Attachment 15** (Commercial Subdistrict Renderings) illustrates the general quality of design and character of the buildings and streetscape, within the Commercial Subdistrict.
16. **Attachment 16** (Multifamily 2 Subdistrict Landscape Plan) establishes the required type, location and size of planting materials within the Multifamily 2 Subdistrict.

- C. **Base Zoning:** The base zoning for this District shall be mixed-use district (“MU”).
- D. **Zoning Ordinance:** All references herein to the zoning ordinance shall be to Chapter 17 of the Lewisville City Code, as it exists on the date of the adoption of this ordinance.
- E. **Sidewalks and Trails:** Development of sidewalks in all subdistricts other than the Townhome 2 Subdistrict shall comply with this section, **Attachment 11** and all applicable ordinances, as amended. Development of trails in all Subdistricts other than the Townhome 2 Subdistrict shall comply with this section, **Attachment 4** and all applicable ordinances, as amended. All trails located within open spaces shall be built to AASHTO Trail Standards for Trail Development. Except as otherwise provided herein, sidewalks shall (1) be required along all public streets; (2) be contained within the right-of-way or the adjacent utility and pedestrian easement; (3) have a minimum width of five feet if directly abutting curbs; and (4) have a minimum width of four feet if not directly abutting curbs. No sidewalks are required where trails abut a street. A minimum eight-foot sidewalk shall be provided along Summit Avenue. If sidewalks or trails planned within a United States Army Corp of Engineers (USACE) mitigation area are not approved by USACE, such sidewalks or trails shall be relocated outside of the mitigation area to other open space areas to the extent physically feasible as determined solely by the Director of Planning.
- F. **Open Space:** All open space shall be developed consistent with **Attachment 1**, **Attachment 4** and the specific standards outlined herein, except that **Attachments 1** and **4** shall not be applicable to the Townhome 2 Subdistrict. Except as otherwise provided herein, timing for the development of open space is not regulated. If amenities or improvements planned within a United States Army Corp of Engineers (USACE) mitigation area are not approved by the USACE, such amenities and improvements shall be relocated outside of the mitigation area to other open space areas to the extent physically feasible as determined solely by the Director of Planning. Nothing herein shall require the city to construct any improvements or amenities.
- G. **Street Sections:** All public and private streets identified on **Attachment 10** shall be built in compliance with the street sections set forth in **Attachment 11**. Street sections for the Townhome 2 Subdistrict must comply with the Code of Ordinances, as amended.

#### IV. **DEFINITIONS**

The following words, terms, and phrases, when used in this ordinance, shall have the following meanings. For any word, phrase, or term not defined in this ordinance, the definitions in the zoning ordinance shall apply.

- A. *Assisted Living Units* means a community or establishment, other than a single-family dwelling, that provides food, shelter, and other necessities for seven (7) or more elderly or disabled persons who are unrelated to the proprietor. Personal care services, as defined by Chapter 247 of the Texas Health and Safety Code, may be provided, including assistance with daily life in the form of dressing, movement, bathing, or other needs. Other services may include housekeeping, meals, transportation and central activity room.
- B. *End-unit lots* means the first and last townhome lots in a contiguous row of attached townhomes.
- C. *Open space* means parks, wetland areas, or other areas that are designated as open space on **Attachment 1** or, for the Townhome 2 Subdistrict, on a final plat.
- D. *Townhome* means a single-family attached dwelling unit which is joined to another dwelling at one or more sides of a party wall or walls.

V. **SUB-DISTRICT DEVELOPMENT STANDARDS**

A. **Townhome 1 Subdistrict:**

- 1. Purpose: To allow for the development of front-entry and rear-entry townhomes on lots of not less than 1,700 square feet, along with allowed accessory uses and structures.
- 2. Applicability: The development standards in this Townhome 1 Subdistrict section and the following listed attachments apply to all properties within the Townhome 1 Subdistrict: Attachments 1, 2, 3, 4, 5, 6, 10, 11, 12, and 13.
- 3. Permitted Uses:
  - a. Townhomes
  - b. Accessory uses to a townhome
  - c. Parks, plazas, greens, and squares
- 4. Height Regulations: No building shall exceed 38 feet in height measured at the peak of the roof.
- 5. Roof Pitch: The minimum roof pitch shall be 5:1.

6. Area Regulations: The following minimum standards shall apply:
- Minimum dwelling unit size: The minimum dwelling unit size shall be 1,450 square feet, excluding garages, porches, and breezeways.
- Maximum lot coverage: The combined area covered by all buildings and accessory structures shall not exceed 80 percent.
- Minimum front yard setback: The minimum front yard shall be 7.5 feet.
- Minimum rear yard setback: The minimum rear yard on lots that have access from a public street shall not be less than five feet. Rear yards on lots that have access from an alley shall not be less than 20 feet.
- Minimum side yard setback: End-unit lots shall have a minimum side yard of five feet on the side that is not attached to another unit. A corner side yard adjacent to a street shall be a minimum of 7.5 feet. No side yard is required where units are attached.
- Minimum lot width: The minimum lot width shall be 22 feet.
- Minimum lot depth: The minimum lot depth shall be 70 feet.
- Minimum lot area: The minimum lot area shall be 1,700 square feet.
- Maximum density: A maximum of 250 townhomes are permitted, which equates to a maximum of 7.71 units per gross acre.
7. Lot Layouts. Townhome lot layouts shall be provided as shown on **Attachment 2.**
8. Architectural Standards.
- a. The aggregate total of all exterior wall elevations on a building (excluding doors and windows and anything above the roof line) shall consist of not less than 80 percent brick veneer, and no single wall elevation shall consist of less than 80 percent brick veneer. Areas above the roof line may be constructed of fiber board. No other exterior finish material requirements shall apply.

- b. All buildings shall be developed in accordance with the elevations attached as **Attachment 3**. Building articulation, brick patterns, building material colors, and other characteristics shown on **Attachment 3** may vary on the final building design provided the design and quality of the final building design is comparable to the design and quality shown on **Attachment 3**, to be determined solely by the Director of Planning.
- c. All rear entry townhomes shall have a covered porch. All front entry townhomes shall have decorative carriage style garage doors with windows. The front façade of all townhomes shall have a decorative front door and a minimum of three of the following features: gables, shutters, decorative soffit brackets, decorative columns, dormers, box windows, or decorative banding.

9. Landscaping.

- a. The Townhome 1 Subdistrict open space must comply with the planting plan on **Attachment 5**.
- b. Trees required by the Lewisville Code of Ordinances to be planted on residential lots may be planted in the front, side, or rear yard of the lot. If a lot does not contain sufficient area to plant all required trees, trees may be planted in another open space area located outside of any easements as approved by the Director of Planning.

10. Parking.

- a. The minimum parking required for a townhome is two spaces. On-street parking may not be counted towards this requirement. Garage parking counts towards this requirement.
- b. Required parking must be provided on the same lot as the use it serves.
- c. Guest parking shall be provided as shown on **Attachment 1**. A minimum of one guest parking space is required for every four townhomes. On-street parallel parking may be provided to satisfy guest parking requirements.
- d. Parking in the driveway in front of a townhome shall be prohibited. This shall also be made part of the HOA covenants.
- e. Townhomes may have front entry or rear entry garages.
- f. Along Summit Avenue, parallel parking is required on the west side of the street with curb bulbs at intersections.

11. Open Space Timing Regulations.
  - a. All open space within the Townhome 1 Subdistrict shall be improved consistent with **Attachment 4** and this section before the final inspection of the last townhome constructed in the Subdistrict.
  - b. The following shall be installed where “Townhome Club Amenities” are shown within the Townhome 1 Subdistrict in **Attachment 4**: a swimming pool, swimming pool deck and furniture, bathhouse, dog park, an event green, barbeque grills, bench seating, a sunbrella-covered pavilion and landscaping (trees and shrubs).
  - c. The open space area between the Townhome 1 Subdistrict and Multifamily 1 Subdistrict shall be improved consistent with **Attachment 4** prior to release of a certificate of occupancy for any building within the Multifamily 1 Subdistrict.
12. Additional Street Sections. In addition to the requirements set forth in III.G., above, cul-de-sac layouts shall be in accordance with **Attachment 12**.
13. Screening, Gates, and Fences.
  - a. Screening is required along Summit Avenue and on the western boundary of the Townhome 1 Subdistrict, where adjacent to the Townhome 2 Subdistrict.
    - i. Screening on Summit Avenue shall be living screening with masonry columns in accordance with **Attachment 13**. The Townhome 1 Subdistrict homeowners association shall maintain the screening. Shrubs shall be three feet in height at the time of planting and grow up to at least six feet in height.
    - ii. Where lots are located adjacent to the existing gas well site, a continuous six-foot-tall brick veneer screening wall shall be provided along the western boundary line of the Townhome 1 Subdistrict, where adjacent to the Townhome 2 Subdistrict. The screening wall shall be maintained by the Townhome 1 Subdistrict homeowners association (“HOA”) and must be installed along all lot boundaries prior to acceptance of public improvements. A screening wall easement shall be provided to the HOA for maintenance purposes.
  - b. Fencing shall be consistent with **Attachment 6**. For front entry townhomes except those backing onto Summit Avenue, rear yard

fencing that is a maximum of six feet in height is required. Fencing is not permitted for rear entry townhomes.

14. Fire Sprinklers. Townhomes with more than 2 units per building shall require automatic fire sprinkler systems.

15. Variances for the Townhome 1 Subdistrict.

a. The following variances for the Townhome 1 Subdistrict granted by the City Council on August 19, 2019 and November 18, 2019 are incorporated into this planned development district:

1. Dead end streets may terminate with an approved cul-de-sac having an outside minimum radius of 42 feet from the right-of-way line.
2. A minimum public street right-of-way width of 45 feet is permitted with a 7.5-foot utility easement on each side as necessary for private utilities, for a total width of 60 feet.
3. Alleys are permitted to have a 24-foot wide right-of-way with 24 feet of paving to provide fire and emergency access to townhomes that are not located along a public street and have no other means of emergency access. Such alleys shall be marked as fire lanes with no parking per city ordinance.
4. Public water lines (not irrigation piping) may be installed under public street pavement within the right-of-way.
5. Corner lots may have a minimum lot width of 12 feet along curved streets and cul-de-sacs and control of access at a residential street intersection shall be 15 feet.
6. The required clear vision areas shall be based on AASHTO standards instead of the city standard of 45 feet by 45 feet.
7. The parkland dedication requirement (or cash-in-lieu of parkland dedication) for Heritage Trail shall be paid prior to the building final of the first townhome or June 30, 2020; whichever occurs first.

b. The following variances for the Townhome 1 Subdistrict are granted in conjunction with this planned development district :

1. Trees required by the Lewisville Code of Ordinances to be planted on residential lots may be planted in the front, side,

or rear yard of the lot. If a lot does not contain sufficient area to plant all required trees, trees may be planted in another open space area located outside of any easements as approved by the Director of Planning.

2. Screening along Summit Avenue shall be living screening consistent with **Attachment 13** in lieu of the required masonry screening wall.
3. The minimum parking requirement is reduced from three spaces per unit to two spaces per unit with the requirement that one guest space be provided for every four units.
4. The parkland dedication requirement (or cash-in-lieu of parkland dedication) for the Townhome 1 Subdistrict shall be paid prior to the building final of the first townhome or December 31, 2020; whichever occurs first.

**B. Townhome 2 Subdistrict:**

1. Purpose: To allow for the re-development of the gas well site in a manner consistent with the Townhome 1 Subdistrict, along with allowed accessory uses and structures. No concept plan is provided at this time.
2. Applicability: The development standards in this Townhome 2 Subdistrict section and the following listed attachments apply to all properties within the Townhome 2 Subdistrict: Attachments 1, 3 and 13. Attachment 3 applies only as an illustrative attachment.
3. Permitted Uses:
  - a. Townhomes
  - b. Accessory uses to a townhome
  - c. Single Family (Detached Dwelling Units)
  - d. Zero Lot Line Single Family (Detached Dwelling Units with 0' setback one side, 10' setback other side)
  - e. Assisted Living Dwelling Units
  - f. Existing gas wells, with required permits, may remain until such time as the wells are plugged.
  - g. Parks, plazas, greens, and squares.

4. Height Regulations: No building shall exceed 38 feet in height measured at the peak of the roof except that assisted living dwelling units may be allowed a maximum height of four stories or 60 feet.
5. Roof Pitch: The minimum roof pitch shall be 5:1.
6. Area Regulations: The following minimum standards shall apply:

Minimum dwelling unit size: The minimum dwelling unit size shall be 1,200 square feet for townhomes, 2,400 square feet for single family detached, excluding garages, porches, and breezeways.

Maximum lot coverage: The combined area covered by all buildings and accessory structures shall not exceed 90 percent for townhomes, 80 percent for single family detached and 50 percent for assisted living dwelling units.

Minimum front yard setback: The minimum front yard shall be 5 feet.

Minimum rear yard setback: The minimum rear yard on lots that have access from a public street shall not be less than five feet. Rear yards on lots that have access from an alley shall not be less than 20 feet.

Minimum side yard setback: End-unit lots for townhomes shall have a minimum side yard of five feet on the side that is not attached to another unit. A corner side yard adjacent to a street shall be a minimum of 7.5 feet. No side yard is required where units are attached. Single family detached shall have a minimum side yard of five feet on both sides or 0 feet on one side and 10 feet on the other side.

Minimum setbacks for assisted living dwelling units: The minimum setback from all property lines shall be 25 feet.

Minimum lot width:	The minimum lot width shall be 22 feet for townhomes and 30 feet for single family detached.
Minimum lot depth:	The minimum lot depth shall be 70 feet for townhomes and 80 feet for single family detached.
Minimum lot area:	The minimum lot area shall be 1,540 square feet for townhomes and 2,400 square feet for single family detached.
Maximum density:	A maximum of 50 townhome or single family detached units.

7. Architectural Standards.

- a. The aggregate total of all exterior wall elevations on a building (excluding doors and windows and anything above the roof line) shall consist of not less than 80 percent brick veneer, and no single wall elevation shall consist of less than 80 percent brick veneer. Areas above the roof line may be constructed of fiber board. No other exterior finish material requirements shall apply.
- b. The elevations attached as **Attachment 3** are illustrative of the type of design and quality required for townhome development. **Attachment 3** is not intended to be a final, binding architectural elevation. Building articulation, brick patterns, building material colors, and other characteristics shown on Attachment 3 illustrate the level of design and quality which should be incorporated into townhome development in this subdistrict.

8. Landscaping. All landscaping shall meet the requirements of the Lewisville Code of Ordinances, as amended. Trees required by the Lewisville Code of Ordinances to be planted on residential lots may be planted in the front, side, or rear yard of the lot. If a lot does not contain sufficient area to plant all required trees, trees may be planted in another open space area located outside of any easements as approved by the Director of Planning.

9. Parking.

- a. The minimum parking required for a townhome, single family detached dwelling unit, or zero lot line single family detached dwelling unit is two spaces. On-street parking may not be counted

towards this requirement. Garage parking counts towards this requirement.

- b. Required parking must be provided on the same lot as the use it serves.
  - c. Guest parking shall be provided at a minimum of one guest parking space for every four townhomes or single family detached dwelling units. On-street parallel parking may be provided to satisfy guest parking requirements.
  - d. Parking in the driveway in front of a townhome, single family detached, or zero lot line single family detached dwelling unit shall be prohibited except as otherwise provided for in this section and shall be made part of the HOA covenants. Parking in the driveway in front of a townhome or single family detached dwelling unit will be allowed if the garage door is set back a minimum of 18 feet from the property line.
  - e. Townhomes, single family detached, and zero lot line single family detached dwelling units may have front entry or rear entry garages.
  - f. Assisted living dwelling units shall provide a minimum of 0.5 spaces per unit.
10. Additional Open Space. A minimum of one private open space lot with street access shall be provided where the gas well heads are plugged to ensure continued access. The open space lot shall be landscaped as passive open space for residents and maintained by the HOA.
11. Screening, Gates, and Fences.
- a. At the time of issuance of the first building permit for the Townhome 2 Subdistrict, or any time thereafter, the six-foot-tall masonry screening wall required by section V.A.13(a)(ii), above, may be removed with permission from the Townhome 1 Subdistrict HOA.
  - b. Screening on McGee shall be living screening with masonry columns, in accordance with **Attachment 13**. Shrubs shall be three feet in height at time of planting and grow to at least six feet in height.

12. Fire Sprinklers. Townhomes with more than 2 dwelling units per building shall require automatic fire sprinkler systems.
13. Variances for the Townhome 2 Subdistrict. The following variance for the Townhome 2 Subdistrict is granted in conjunction with this planned development amendment:
  - a. Screening along McGee Lane shall be living screening consistent with **Attachment 13** in lieu of the required masonry screening wall.
  - b. Trees required by the Lewisville Code of Ordinances to be planted on residential lots may be planted in the front, side, or rear yard of the lot. If a lot does not contain sufficient area to plant all required trees, trees may be planted in another open space area located outside of any easements as approved by the Director of Planning.

Any additional variances required for the development of the Townhome 2 Subdistrict shall be considered with the preliminary plat of the development.

**C. Multifamily 1 Subdistrict:**

1. Purpose: To allow multifamily dwellings and associated parking and accessory uses, including amenities and a leasing office.
2. Applicability: The development standards in this Multifamily 1 Subdistrict section and the following listed attachments apply to all properties within the Multifamily 1 Subdistrict: Attachments 1, 4, 7, 10, and 11.
3. Permitted Uses:
  - a. Multifamily dwellings
  - b. Accessory uses to multifamily dwellings
  - c. Parks, plazas, greens, and squares.
4. Height Regulations: No building shall exceed 60 feet in height, measured at the peak of the roof, and five stories.
5. Area Regulations: The following minimum standards shall apply:

Minimum dwelling unit size: The minimum dwelling unit size shall be 500 square feet. The minimum average dwelling unit size for all units combined shall be 650 square feet.

- Maximum lot coverage: The combined area covered by all buildings and accessory structures shall not exceed 50 percent.
- Minimum front yard setback: The minimum front yard shall be 50 feet.
- Minimum rear yard setback: The minimum rear yard shall be 50 feet.
- Minimum side yard setback: The minimum side yard shall be 50 feet.
- Minimum lot width: The minimum lot width shall be 50 feet.
- Minimum lot depth: The minimum lot depth shall be 50 feet.
- Minimum lot area: The minimum lot area shall be 35,000 square feet.
- Maximum density: A maximum of 300 multifamily units are permitted, which equates to a maximum of approximately 30 units per gross acre within the Multifamily 1 Subdistrict.

6. Architectural Standards.

- a. The aggregate total of all exterior wall elevations (excluding doors and windows) on a building shall consist of not less than 60 percent brick veneer, and no single wall elevation shall consist of less than 60 percent brick veneer. No other exterior finish material requirements shall apply.
- b. All buildings shall be developed in accordance with **Attachment 7**. Building articulation, brick patterns, building material colors, and other characteristics shown on **Attachment 7** may vary on the final building design provided the design and quality of the final building design is comparable to the design and quality shown on **Attachment 7**, as determined solely by the Director of Planning.

7. Parking.

- a. Along Summit Avenue, parallel parking is required on the west side of the street with curb bulbs at intersections.
- b. The minimum parking required shall be 1.6 spaces per unit. Tuck under garages that are fully enclosed and tandem parking (partially or wholly enclosed) may be counted towards this requirement.

c. The following parking standards table shall apply:

PARKING STANDARDS TABLE		
PARKING TYPE	PARKING STANDARD	COMMENT
ON-STREET PARKING:		
Parallel Parking:	8' x 20' min	From Back of Curb
Angled-in Parking	9' x 18' min	Angle = 60° from Curb
Head in parking (90°)	Not permitted	
PARKING LOTS		
Parking Space, Typical	9' x 18'	Accessible spaces comply w ADA
Aisle Width	24' min	
Landscape Requirements	1 tree per 10 spaces	
Tandem Spaces	9' x 20'	Location subject to site plan approval
GARAGES		
"Tuck-under" Garage Dimensions	10' x 20' Min	
Tuck-under" Garage Doors		Garage Doors Required
Carport Dimensions	9' x 18'	

- d. Any off-street surface parking area located adjacent to a street shall be screened in the form of an evergreen hedge row, which is at least three feet in height at maturity.
- e. Covered parking or carports shall be constructed of masonry or metal and shall be placed behind buildings which front on public streets. The poles supporting a carport shall have a masonry base if the poles are adjacent to an open space area or located within a landscaped island.

8. Additional Open Space Requirements.

- a. The following shall be installed where "Multifamily Amenities" are shown within the Multifamily 1 Subdistrict in **Attachment 4**: a minimum 1,700 square foot clubhouse, a minimum 900 square foot fitness center, a swimming pool, a swimming pool deck with furniture, an artificial turf yoga area, a dog park, park seating, and landscaping (trees and shrubs).
- b. The open space area between the Townhome 1 Subdistrict and Multifamily 1 Subdistrict shall be improved consistent with **Attachment 4** prior to release of a certificate of occupancy for any building within the Multifamily 1 Subdistrict.
- c. The open space between the multifamily buildings within the Multifamily 1 Subdistrict and Summit Avenue shall be improved consistent with **Attachment 4** prior to release of a certificate of occupancy for any building within the Multifamily 1 Subdistrict.

9. Fences. Fences shall not be permitted in locations where a lot abuts open space.

10. Variances for the Multifamily 1 Subdistrict. The following variances are granted in conjunction with this Planned Development District:
- a. A minimum parking requirement reduction to 1.6 parking spaces per unit in lieu of the required 2 parking spaces per unit.
  - b. Paving over the existing 20-inch water line with the owner being responsible for repairing or replacing pavement due to the city repairing or replacing the water line.
  - c. The aggregate total of all exterior wall elevations (excluding doors and windows) on a building shall consist of not less than 60 percent brick veneer, and no single wall elevation shall consist of less than 60 percent brick veneer.
  - d. Any parkland dedication for the Multifamily 1 Subdistrict shall be made after all amenities are installed in accordance with the Open Space Amenities Plan shown in **Attachment 4**. No certificate of occupancy for any buildings shall be issued until the parkland dedication is provided. Any cash-in-lieu of parkland dedication shall be provided at time of final plat.

**D. Multifamily 2 Subdistrict:**

- 1. Purpose: To allow multifamily dwellings and associated parking and accessory uses, including amenities and a leasing office.
- 2. Applicability: The development standards in this Multifamily 2 Subdistrict section and the following listed attachments apply to all properties within the Multifamily 2 Subdistrict: Attachments 1, 4, 8, 9, 10, 11, and 16.
- 3. Permitted Uses:
  - a. Multifamily dwellings
  - b. Accessory uses to multifamily dwellings
  - c. Parks, plazas, greens, and squares.
- 4. Height Regulations: No building shall exceed 60 feet in height, measured at the peak of the roof, and five stories.
- 5. Area Regulations:
  - Maximum lot coverage: 95 percent

- Minimum front yard setback: 5 feet
- Minimum rear yard setback: 0 feet
- Minimum side yard setback: 0 feet
- Minimum side yard setback corner: Match front setback
- Minimum lot width: 50 feet
- Minimum lot depth: 50 feet
- Minimum lot area: 2,500 square feet

6. Architectural Standards. All buildings shall be built in compliance with **Attachment 9.**

7. Landscaping. The required street trees, parking lot trees, and preserved trees in proposed open spaces shall constitute the required tree mitigation, if any mitigation is required. Landscaping shall be consistent with **Attachment 16.**

8. Parking.

- a. Along Summit Avenue, parallel parking is required on the west side of the street with curb bulbs at intersections.
- b. The multifamily parking requirement shall be 1 space per unit for one-bedroom/efficiency units; 1.8 spaces per unit for two-bedroom units and two spaces per units for units with three or more bedrooms.
- c. The following parking standards table shall apply:

PARKING STANDARDS TABLE		
PARKING TYPE	PARKING STANDARD	COMMENT
<b>ON-STREET PARKING:</b>		
Parallel Parking:	8' x 20' min	From Back of Curb
Angled-in Parking	9' x 18' min	Angle = 60° from Curb
Head in parking (90°)	Not permitted	
<b>PARKING LOTS</b>		
Parking Space, Typical	9' x 18'	Accessible spaces comply w ADA
Aisle Width	24' min	
Landscape Requirements	1 tree per 10 spaces	
Tandem Spaces	9' x 20'	Location subject to site plan approval
<b>GARAGES</b>		
"Tuck-under" Garage Dimensions	10' x 20' Min	
Tuck-under" Garage Doors		Garage Doors Required
Carport Dimensions	9' x 18'	

- d. On-street parking shall be included in the minimum parking count.
- e. The following additional standards shall apply:

- i. Any off-street surface parking area located adjacent to a street shall be screened in the form of an evergreen hedge row which is at least three feet in height at maturity.
  - ii. Covered parking or carports shall be constructed of masonry or metal and shall be placed behind buildings which front on streets designated in **Attachment 10**.
  - iii. Structured parking facilities may be used to meet the parking requirements provided they do not occupy more than 75 feet of ground floor street frontage per block.
- 7. **Fencing**. The maximum height for a rear fence shall be six feet between buildings. Rear fencing shall be constructed of tubular steel.
- 8. **Sidewalk Requirements**. Notwithstanding anything to the contrary, sidewalks shall be six feet in width except along Summit Avenue, which shall be eight feet.
- 9. **Permitted Setback Encroachments**. The following encroachments are permitted into a required setback: elevated entry, porch, or stoop, patio, landscaping (no paving), and fencing (maximum 36 inches in height). Parking and enclosed or screened porches are not permitted encroachments.
- 10. **Other**: Lots must front upon at least one street right-of-way or street as designated in **Attachment 10** or adjacent open space, as specified. The intent of this regulation is to establish urban blocks with buildings located at the perimeter of the blocks, facing the street or open space, with access to the pedestrian network.
- 11. **Approved Variances**: The following variances have previously been granted by the City Council on April 1, 2019 and April 15, 2019 to development in the Multifamily 2 Subdistrict and are incorporated here for reference:
  - a. The maximum gap for a parking lot between buildings of 70 feet may be exceeded as shown in Attachment 8.
  - b. Parking within 60 feet of an intersection as shown in Attachment 8 is allowed but it must maintain the city standard of no parking within 20 feet of a cross walk.
  - c. The required 80% masonry may be decreased by demonstrating an alternative method of achieving the standard of quality with the proposed allocation of masonry materials.

- d. A six-foot sidewalk with strategic sidewalk connections to the parallel parking is allowed in lieu of providing an eight-foot sidewalk along the two east/west shared access drives.
- e. An oversized approach apron is allowed in lieu of a right turn lane for the northern ancillary entry off of Interstate I-35E frontage.
- f. The parkland dedication requirement (or cash-in-lieu of parkland dedication) shall be paid prior to the issuance of the final certificate of occupancy.

**E. Commercial Subdistrict:**

- 1. Purpose: To create an outstanding neighborhood with streets and open space that encourages pedestrian activity by incorporating the concept plan as shown in **Attachment 14**, allowing commercial uses to benefit from proximity to IH-35E, and creating an active pedestrian retail and service corridor between this subdistrict and the Multifamily 2 Subdistrict.
- 2. Applicability: The development standards in this Commercial Subdistrict section and the following listed attachments apply to all properties within the Commercial Subdistrict: Attachments 1, 8, 10, 11, 14, and 15.
- 2. Permitted Uses:
  - a. Department store and similar retail stores
  - b. Restaurant, but no drive-throughs.
  - c. Grocery stores
  - d. Video rental stores, movie theaters and other indoor amusements
  - e. Barber and beauty shops
  - f. Book, card, gift and stationary stores
  - g. Dry cleaning and laundry services
  - h. Florists
  - i. Day nurseries
  - j. Automobile parking structures
  - k. Public Governmental agencies

- l. Bed and breakfast
- m. Brewery, Distillery or Winery
- n. Wine and Beer Pubs
- o. Bars
- p. Cigar stores
- q. Fitness/Dance Studio
- r. General office
- s. Retail sales or services (excluding automobile service & gas stations)
- t. Finance insurance, and real estate establishments including banks, credit unions
- u. Offices for business, profession and technical uses such as accountants, architects, lawyers
- v. Mail or retail shipping outlet
- w. Real estate office sales and leasing
- x. Medical office
- y. Hotels, motels and inns (in compliance with Lewisville Code of Ordinances Section 6-182, as amended).
- z. Fitness, recreational sports, gym, or athletic club
- aa. Games arcade establishments
- bb. Assembly hall
- cc. Parks, plazas, greens, and squares
- dd. Art, antique, furniture or electronics repair or fabrication
- ee. Amusement or recreation indoors
- ff. Other retail, office and service uses of a similar nature
- gg. Business associations and professional membership organizations
- hh. Child day care and preschools

- ii. Schools (adult), libraries and community halls
- jj. Universities and college training facilities
- kk. Civic uses
- ll. Social and fraternal organizations

3. Area Regulations:

- Maximum lot coverage: None
- Minimum front yard setback: Minimum 8 feet from the back of curb to the front building facade. The internal drive facing the Multifamily 2 Subdistrict will be considered the front.
- Minimum rear yard setback: 60 feet if surface parking is utilized. The IH-35E frontage will be considered the rear. A 10-foot rear yard is allowed if structured parking is utilized.
- Minimum side yard setback: None
- Minimum side yard setback corner: 8 feet
- Minimum lot width: 50 feet
- Minimum lot depth: 50 feet
- Minimum building footprint: 2,000 square feet
- Minimum density: 55,000 square feet of commercial space
- Maximum building height: 8 stories or 100 feet

4. Architectural Standards. Building layout shall be as shown in **Attachment 14** and building quality shall be as reflected generally in **Attachment 15**.

- a. Building orientation. All main entries shall be oriented to the west, towards the internal private drive and Multifamily 2 Subdistrict.

- b. Service areas, utility meters, irrigation controllers and mechanical equipment shall all be oriented between buildings or at the rear of the buildings, facing IH-35E. These areas shall be screened.
- c. Outdoor receptacles, as defined in Section 4-28 of the Lewisville Code of Ordinances, shall be oriented at the rear of the buildings, facing IH-35E. These receptacles shall be screened in accordance with Section 4-28 of the Lewisville Code of Ordinances.
- d. A minimum of fifty percent of the first-floor elevations on the front of buildings shall be glazing. For the purposes of this calculation the first-floor elevation shall be considered 8 feet by the length of the facade.
- d. The minimum ground floor clear ceiling height is ten feet.
- e. Buildings fronts shall have architectural expressions along the front facades of the building, such as recesses, projections, pilasters, balconies, loggia, porticos, canopies, parapets, bay windows, dormers or similar architectural features. The frequency shall average approximately one architectural expression for each 25 feet of front façade length.
- f. Buildings shall be a minimum of 80 percent stone or brick and the remaining 20 percent must be masonry, which may include stucco, cementitious fiberboard, cultured stone, cast stone, painted tilt-wall concrete. The applicant may apply for a variance to the 80 percent stone or brick requirement directly to the City Council by demonstrating an alternative method of achieving the minimum quality such as superior architectural design, recreational amenities, interior finishes, balconies, landscaping, common areas, and other items which justify a modification of the minimum brick or stone area required.

5. Landscaping.

- a. A minimum five-foot landscape buffer with minimum three-foot-tall evergreen shrubs is required along the IH-35E frontage road.
- b. Any off-street surface parking area located adjacent to a street shall be screened in the form of an evergreen hedge row which is at least three feet in height at maturity.

- c. Street trees are required every thirty-five feet on center along IH-35E and all commercial streets designated in **Attachment 10**. Street trees shall be aligned to greatest extent possible with the street trees on the opposite side of the driveway in the Multifamily 2 Subdistrict as illustrated in **Attachment 16**. These trees may be planted in a continuous parkway not less than 4 feet in width or in tree wells no smaller than 4 feet by 6 feet long in the sidewalk provided the usable width of the sidewalk is not reduced to below four feet.
- d. All plant material shall be selected from the approved list in the IH-35E Overlay District.
- e. A surface parking lot shall include the landscape requirements shown in (V)(E)6(b) and required trees shall be canopy trees of a minimum of 2.5 caliper inches.

6. Parking.

- a. Minimum parking rates are provided below.

Mixed office and retail	1 space per 250 gross square feet.
Office only	1 space per 333 gross square feet
Restaurant or bar	1 space per 100 gross square feet
Hotel, motel, and inn	1 space per room
All other uses	65% of the required parking per the code of ordinances

- b. The following parking standards table shall apply:

PARKING STANDARDS TABLE		
PARKING TYPE	PARKING STANDARD	COMMENT
ON-STREET PARKING:		
Parallel Parking:	8' x 20' min	From Back of Curb
Angled-in Parking	9' x 18' min	Angle = 60° from Curb
Head in parking (90°)	Not permitted	
PARKING LOTS		
Parking Space, Typical	9' x 18'	Accessible spaces comply w ADA
Aisle Width	24' min	
Landscape Requirements	1 tree per 10 spaces	
Tandem Spaces	9' x 20'	Location subject to site plan approval
GARAGES		
"Tuck-under" Garage Dimensions	10' x 20' Min	
Tuck-under" Garage Doors		Garage Doors Required
Carport Dimensions	9'x 18'	

- c. Shared parking lots are permitted and the Director of Planning may authorize a reduction of up to 20 percent if the developer shows that peak parking demand will be offset based on the mix of uses. The Director of Planning may request an Urban Land Institute manual based parking study to confirm the requested parking reduction will be sufficient.
- d. On-street parking shall be included in the minimum parking. Angled parking is required on the drive facing the Multifamily 2 Subdistrict and shall be designed to reflect the angled parking installed on the opposite site of the drive.
- e. Structured parking facilities may be used to meet the parking requirements provided they do not occupy more than 75 feet of ground floor street frontage per block along the internal private drive at the western boundary of the Commercial Subdistrict.

7. Fencing.

- a. Iron or tubular steel fencing not to exceed 8 feet in height is permitted and may be allowed between buildings. This shall not be construed to prevent screening of service areas, utility meters, irrigation controllers, mechanical equipment, and outdoor receptacles in accordance with this ordinance.
- b. Fencing around outdoor seating areas, patio enclosures, or similar outdoor spaces related to a business shall be iron or tubular steel fencing and is limited to 36 inches in height.

8. Sidewalks. Minimum 6-foot-wide sidewalks shall be provided along the front of buildings. Minimum 5-foot-wide sidewalks shall be provided along the frontage road to IH-35E. Minimum four-foot-wide sidewalks shall be provided along all other thoroughfares designated in this subdistrict and to connect parking lots to buildings.

9. Plaza. A minimum 4,000 square foot plaza shall be provided that roughly aligns with the paseo provided in the Multifamily 2 Subdistrict as shown in **Attachment 14.** The plaza shall contain canopy trees, decorative pavement, seating (either benches or tables with chairs), trash cans, and bike racks. Restaurants may use up to 30 percent of the plaza for outdoor patio seating.

10. Permitted Setback Encroachments. Canopies and awnings may project up to two feet into the required front setback.

**VI. REQUESTED DEVIATIONS**

**A. Lot Requirement Comparison**

<b>Lot Requirement Comparison</b>		
<b>Development Standard:</b>	<b>Required (MU Base Zoning):</b>	<b>Requested:</b>
<b>Townhome 1&amp;2 Subdistrict (Townhome Use)</b>		
Max Building Height	80 FT	38 FT
Min. Unit Size	1,200 SF excluding garages, porches, and breezeways	1,450 SF excluding garages, porches, and breezeways
Max. Lot Coverage	N/A	80%
Min. Front Setback	Max. 25 FT	Min. 7.5 FT
Min. Rear Setback	Max. 25 FT	Public Street Access 5 FT Alley Access 20 FT
Min. Side Setback	Max. 25 FT	End Unit Lots 5 FT Side yards adjacent to street 7.5 FT.
Min. Lot Width	20 FT	22 FT
Min. Lot Depth	75 FT	70 FT
Min Lot Area	1,700 SF	1,700 SF
Max. Density	N/A	7.71 Units/AC
<b>Multifamily 1 Subdistrict (Multifamily Use)</b>		
Max Building Height	80 FT	60 FT
Min. Unit Size	500 SF / Average 650 SF	500 SF / Average 650 SF
Max. Lot Coverage	N/A	50%
Min. Front Setback	Max. 25 FT	Min. 50 FT
Min. Rear Setback	Max. 25 FT	Min. 50 FT
Min. Side Setback	Max. 25 FT	50 FT
Min. Lot Width	N/A	50 FT
Min. Lot Depth	N/A	50 FT
Min Lot Area	N/A	35,000 SF
Max. Density	N/A	300 units (30/AC)
<b>Multifamily 2 Subdistrict (Multifamily Use)</b>		
Max. Lot Coverage	N/A	95%
Min. Front Setback	Max. 25 FT	Max. 15 FT Min. 5 FT
Min. Rear Setback	Max. 25 FT	Min. 0 FT
Min. Side Setback	Max. 25 FT	Min. 0 FT
Min. Lot Width	N/A	Min. 50 FT
Min. Lot Depth	N/A	Min. 50 FT
Min Lot Area	N/A	2,500 SF
Max. Density	N/A	15 Units/AC
<b>Commercial Subdistrict</b>		
Max Height	80FT	80 FT

<b>Lot Requirement Comparison</b>		
<b>Development Standard:</b>	<b>Required (MU Base Zoning):</b>	<b>Requested:</b>
Min. Front Setback	Max. 25 FT	8 FT
Min. Rear Setback	Max. 25 FT	Min. 60 FT (on IH-35E)
Min. Side Setback	Max. 25 FT	0 FT
Min. Side Setback Corner	Max. 25 FT	Min. 8 FT
Min. Lot Width	N/A	50 FT
Min. Lot Depth	N/A	50 FT
Min Lot Area	N/A	N/A
Max. Density	N/A	Min. 55,000 SF





# Townhome 1 Subdistrict

BEING a 29.55 acre tract of land situated in the Stephen Riggs Survey, Abstract No. 1088, and the WM. Brown Survey, Abstract No. 63, City of Lewisville, Denton County, Texas, being a portion of a called 113.581 acre tract of land conveyed by deed to Prologis Development Services Incorporated, as recorded in Volume 4738, Page 523, Deed Records, Denton County, Texas, being a portion of a called 4.186 acre tract of land conveyed by deed to Prologis Development Services Incorporated, as recorded in Volume 4781, Page 1148, Deed Records, Denton County, Texas, being a portion of Lot 3, Block B, Lewisville Corporate Center, as recorded in Instrument No. 2009-172, Plat Records, Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a found 1/2 inch iron rod for the southeast corner of said Lot 3, and at the intersection of the existing west right-of-way line of Summit Avenue (having a variable width public right-of-way), and the existing north right-of-way line of the Kansas City Southern Railroad (125 foot right-of-way);

THENCE North 69°05'10" West, along said north right-of-way line and the south line of said Lot 3, being a common line, a distance of 927.12 feet to a point;

THENCE North 68°53'53" West, continuing along said common line, a distance of 41.95 feet to a point;

THENCE North 69°03'34" West, a distance of 1,298.68 feet to a power pole, being in the intersection of said existing north right-of-way line and the existing east right-of-way line of McGee Lane (having an 80 foot right-of-way);

THENCE North 00°32'24" West, leaving said common line, along said existing east right-of-way line and the west line of said Lot 3, being a common line, a distance of 12.23 feet to a point for the beginning of a tangent curve to the right having a radius of 860.00 feet, a central angle of 2°44'26", and a long chord which bears North 00°49'49" East, 41.13 feet;

THENCE along said common line and along said tangent curve to the right, an arc length of 41.13 feet to a point, being in the south line of a 5.485 acre tract of land conveyed by deed to Prologis OGL, LP. as recorded in Instrument No. 2008-129595, Deed Records, Denton County, Texas;

THENCE South 69°03'34" East, leaving said common line, along said south line, a distance of 391.10 feet to a point;

THENCE North 20°56'26" East, along the east line of said 5.485 acre tract, a distance of 517.50 feet to a point;

THENCE North 69°03'34" West, along the north line of said 5.485 acre tract, a distance of 366.07 feet to a point;

THENCE South 89°34'53" West, continuing along said north line a distance of 193.02 feet to a point, being in said common line;

THENCE North 00°25'07" West, along said common line, leaving said north line, a distance of 142.77 feet to a point being the northwest corner of said Lot 3 and the southwest corner of Lot 2, Block B, of said Lewisville Corporate Center;

THENCE North 89°35'01" East, leaving said common line, along the north line of said Lot 3 and the south line of said Lot 2, being a common line, a distance of 250.85 feet to a point;

THENCE South 66°58'20" East, continuing along said common line, a distance of 442.62 feet to a point;

THENCE South 66°22'38" East, a distance of 1,126.25 feet to a point;

THENCE South 80°22'21" East, a distance of 263.72 feet to a point, being the northeast corner of said Lot 3 and the southeast corner of said Lot 2, for the beginning of a non-tangent curve to the right having a radius of 637.00 feet and a central angle of 0°54'41" and a long chord which bears South 14°12'15" East, 10.13 feet;

THENCE along said existing west right-of-way line and the east line of said Lot 3, being a common line, and along said non-tangent curve to the right, an arc length of 10.13 feet to a found "X" cut in the concrete;

THENCE South 20°14'26" West, continuing along said common line, a distance of 16.29 feet to a found "X" cut in the concrete;

THENCE South 24°45'34" East, a distance of 51.00 feet to a found "X" cut in the concrete;



**Graham Associates, Inc.**  
CONSULTING ENGINEERS & PLANNERS  
600 SIX FLAGS DRIVE, SUITE 500  
ARLINGTON, TEXAS 76011 (817) 640-8535  
TBPE FIRM: F-1191/TBPLS FIRM: 101538-00

**EXHIBIT A PROPERTY DESCRIPTION**

# Townhome 1 Subdistrict

## TOWNHOME SUBDISTRICT LEGAL DESCRIPTION (CONTINUED)

THENCE South 69°45'34" East, a distance of 34.56 feet to a found "X" cut in the concrete, for the beginning of a non-tangent curve to the right having a radius of 625.00 feet and a central angle of 3°06'59" and a long chord which bears South 30°54'01" East, 33.99 feet;

THENCE along said non-tangent curve to the right, an arc length of 33.99 feet to a found 1/2 inch iron rod for the beginning of a compound curve to the right having a radius of 525.00 feet, a central angle of 15°00'23", and a long chord which bears South 24°57'18" East, 137.11 feet;

THENCE along said compound curve to the right, an arc length of 137.50 feet to a found 1/2 inch iron rod with a cap stamped "HALFF" for the beginning of a curve to the right having a radius of 237.00 feet, a central angle of 20°47'55", and a long chord which bears South 07°03'19" East, 85.56 feet;

THENCE along said curve to the right, an arc length of 86.03 feet to a found 1/2 inch iron rod with a cap stamped "HALFF", for the beginning of a reverse curve to the left having a radius of 263.00 feet, a central angle of 7°34'25", and a long chord which bears South 00°26'20" East, 34.74 feet;

THENCE along said reverse curve to the left, an arc length of 34.77 feet to a found 1/2 inch iron rod with a cap stamped "HALFF", for the beginning of a reverse curve to the right having a radius of 513.00 feet, a central angle of 3°48'50", and a long chord which bears South 02°19'07" East, 34.14 feet;

THENCE along said reverse curve to the right an arc length of 34.15 feet to a found 1/2 inch iron rod;

THENCE South 00°24'42" East, a distance of 47.49 feet to a found "X" cut in the concrete;

THENCE South 44°35'47" West, a distance of 16.97 feet to a found "X" cut in the concrete;

THENCE South 00°24'13" East, a distance of 51.00 feet to a found 1/2 inch iron rod with a cap stamped "HALFF";

THENCE South 45°24'13" East, a distance of 33.99 feet to a found 1/2 inch iron rod with a cap stamped "KHA";

THENCE South 00°25'51" East, a distance of 287.51 feet to the POINT OF BEGINNING and CONTAINING 1,287,105 square feet, 29.55 acres of land, more or less.



**Graham Associates, Inc.**  
CONSULTING ENGINEERS & PLANNERS  
600 SIX FLAGS DRIVE, SUITE 500  
ARLINGTON, TEXAS 76011 (817) 640-8535  
TBPE FIRM: F-1191/TBPLS FIRM: 101538-00

**EXHIBIT A PROPERTY DESCRIPTION**

# Townhome 2 Subdistrict

## Townhome 2 Subdistrict TRACT 5 LEGAL DESCRIPTION

BEING a 5.485 acre tract of land situated in the Stephen Riggs Survey, Abstract No. 1088, City of Lewisville, Denton County, Texas, being a portion Lot 3, Block B, Lewisville Corporate Center, as recorded in Instrument No. 2009-172, Plat Records, Denton County, Texas, being a tract of land conveyed by deed to Prologis OGL, LP, as recorded in Instrument No. 2008-129595, Deed Records, Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a found 1/2 inch iron rod with a cap stamped "GRAHAM ASSOC INC"(GAI), being in the west line of said Lot 3, being in the west line of Lot 79X, Block C, Heritage Trail Addition, as recorded in Document No. 2020-15, Plat Records, Denton County, Texas, and being in the existing east right-of-way line of McGee Lane (having a 80 foot right-of-way), for the beginning of a curve to the right having a radius of 860.00 feet, a central angle of 5°51'36", and a long chord which bears North 05°07'50" East, 87.92 feet;

THENCE along said existing east right-of-way line and said west line of Lot 3, being a common line, and along said curve to the right, an arc length of 87.96 feet to a point, for the beginning of the reverse curve to the left having a radius of 940.00 feet, a central angle of 8°28'44", and a long chord which bears North 03°49'15" East, 138.98 feet;

THENCE continuing along said common line and along said reverse curve to the left, an arc length of 139.11 feet to a point;

THENCE North 00°25'07" West, a distance of 246.73 feet to a found 1/2 inch iron rod with "GAI" cap, being in the south right-of-way line of an existing variable width right-of-way, as recorded in Document No. 2020-15, Plat Records, Denton County, Texas;

THENCE North 89°34'53" East, leaving said common line, along said south right-of-way line, a distance of 193.02 feet to a found 1/2 inch iron rod with "GAI" cap;

THENCE South 69°03'34" East, continuing along said south right-of-way line, a distance of 366.07 feet to a found 1/2 inch iron rod with "GAI" cap;

THENCE South 20°56'26" West, leaving said south right-of-way line, along the west line of said Heritage Trail Addition plat, a distance of 517.50 feet to a found 1/2 inch iron rod with "GAI" cap, being in said west line of Lot 79X;

THENCE North 69°03'34" West, along said west line of Lot 79X, a distance of 391.10 feet to the POINT OF BEGINNING and CONTAINING 238,924 square feet, 5.485 acres of land, more or less.

# Multifamily 1 Subdistrict

## MULTIFAMILY SUBDISTRICT 1 LEGAL DESCRIPTION

BEING a 22.33 acre tract of land situated in the Stephen Riggs Survey, Abstract No. 1088, and the WM. Brown Survey, Abstract No. 63, City of Lewisville, Denton County, Texas, being a portion of a called 113.581 acre tract of land conveyed by deed to Prologis Development Services Incorporated, as recorded in Volume 4738, Page 523, Deed Records, Denton County, Texas, being Lot 2, Block B, Lewisville Corporate Center, as recorded in Instrument No. 2009-172, Plat Records, Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a found aluminum disc stamped with "USACE" for the north corner of said Lot 2, being in the south line of Lot 1R, Block B, of said Lewisville Corporate Center, and being in the existing west right-of-way line of Summit Avenue (having a variable width public right-of-way);

THENCE South 38°28'27" East, along said existing west right-of-way line, a distance of 0.50 feet to a point;

THENCE South 83°28'27" East, continuing along said existing west right-of-way line, a distance of 34.19 feet to a point, for the beginning of a non-tangent curve to the left having a radius of 1350.00 feet and a central angle of 9°58'37" and a long chord which bears South 45°34'17" East, 234.78 feet;

THENCE along said non-tangent curve to the left, an arc length of 235.08 feet to a point, for the beginning of a reverse curve to the right having a radius of 237.00 feet, a central angle of 10°27'47", and a long chord which bears South 45°19'44" East, 43.22 feet;

THENCE along said reverse curve to the right, an arc length of 43.28 feet to a point, for the beginning of a reverse curve to the left having a radius of 263.00 feet, a central angle of 14°33'17", and a long chord which bears South 47°22'29" East, 66.63 feet;

THENCE along said reverse curve to the left, an arc length of 66.81 feet to a point;

THENCE South 54°39'07" East, a distance of 82.50 feet to a point;

THENCE South 09°39'07" East, a distance of 16.97 feet to a point;

THENCE South 54°39'07" East, a distance of 51.00 feet to a point;

THENCE North 79°50'24" East, a distance of 33.94 feet to a point;

THENCE South 54°39'07" East, a distance of 97.12 feet to a point for the beginning of a tangent curve to the right having a radius of 350.00 feet, a central angle of 18°20'21", and a long chord which bears South 45°28'56" East, 111.55 feet;

THENCE along said tangent curve to the right, an arc length of 112.03 feet to a point, for the beginning of a compound curve to the right having a radius of 237.00 feet and a central angle of 29°24'53" and a long chord which bears South 21°36'18" East, 120.34 feet;

THENCE along said compound curve to the right, an arc length of 121.67 feet to a point, for the beginning of a reverse curve to the left having a radius of 263.00 feet, a central angle of 5°17'51", and a long chord which bears South 09°32'46" East, 24.31 feet;

THENCE along said reverse curve to the left, an arc length of 24.32 feet to a point, for the beginning of a reverse curve to the right having a radius of 338.00 feet, a central angle of 11°47'00", and a long chord which bears South 06°18'12" East, 69.39 feet;

THENCE along said reverse curve to the right, an arc length of 69.51 feet to a point;

THENCE South 00°24'42" East, a distance of 10.31 feet to a point;

THENCE South 44°35'18" West, a distance of 16.97 feet to a point;

THENCE South 00°24'42" East, a distance of 51.00 feet to a point;

THENCE South 45°24'42" East, a distance of 33.94 feet to a point;



**Graham Associates, Inc.**  
CONSULTING ENGINEERS & PLANNERS  
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ARLINGTON, TEXAS 76011 (817) 640-8535  
TBPE FIRM: F-1191/TBPLS FIRM: 101538-00

**EXHIBIT A PROPERTY DESCRIPTION**

# Multifamily 1 Subdistrict

## MULTIFAMILY SUBDISTRICT 1 LEGAL DESCRIPTION (CONTINUED)

THENCE South 00°24'42" East, a distance of 133.91 feet to a point for the beginning of a tangent curve to the left having a radius of 625.00 feet, a central angle of 2°19'57", and a long chord which bears South 01°34'40" East, 25.44 feet;

THENCE along said tangent curve to the left, an arc length of 25.44 feet to a point, for the beginning of a reverse curve to the right having a radius of 237.00 feet, a central angle of 8°12'35", and a long chord which bears South 01°21'39" West, 33.93 feet;

THENCE along said reverse curve to the right, an arc length of 33.96 feet to a point, for the beginning of a reverse curve to the left having a radius of 263.00 feet, a central angle of 19°12'47", and a long chord which bears South 04°08'31" East, 87.78 feet;

THENCE along said reverse curve to the left, an arc length of 88.19 feet to a point, for the beginning of a reverse curve to the right having a radius of 637.00 feet, a central angle of 6°46'03", and a long chord which bears South 18°02'37" East, 75.20 feet;

THENCE along said reverse curve to the right, an arc length of 75.24 feet to a point, being the southeast corner of said Lot 2 and the northeast corner of Lot 3, Block B, of said Lewisville Corporate Center;

THENCE North 80°22'21" West, leaving said existing west right-of-way line, along the north line of said Lot 3, a distance of 263.72 feet to a point;

THENCE North 66°22'38" West, continuing along the north line of said Lot 3, a distance of 1,126.25 feet to a point;

THENCE North 66°58'20" West, a distance of 442.62 feet to a point;

THENCE South 89°35'01" West, a distance of 250.85 feet to a point, being the northwest corner of said Lot 3 and in the existing east right-of-way line of McGee Lane (having a 80 foot public right-of-way);

THENCE North 00°25'07" West, along said existing east right-of-way line a distance of 254.40 feet to a found 1/2 inch iron rod with cap stamped "Gorronдона", being the southeast corner of a called 0.146 acre tract of land conveyed by deed to the City of Lewisville, as recorded in Volume 5065, Page 1426, Deed Records, Denton County, Texas, and being the southwest corner of a called 10.019 acre tract of land conveyed by deed to MAS Lewisville, LP., as recorded in Instrument No. 2003-66085, Deed Records, Denton County, Texas;

THENCE South 89°58'08" East, along the south line of said 10.019 acre tract, a distance of 291.66 feet to a found aluminum disc stamped with "USACE";

THENCE South 62°04'38" East, along the south line of said Lot 1R, a distance of 547.11 feet to a found aluminum disc stamped with "USACE";

THENCE North 27°09'30" East, continuing along the south line of said Lot 1R, a distance of 123.94 feet to a found aluminum disc stamped with "USACE";

THENCE North 51°32'59" East, a distance of 556.14 feet to the POINT OF BEGINNING and CONTAINING 972,664 square feet, 22.33 acres of land, more or less.



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**EXHIBIT A PROPERTY DESCRIPTION**

# Multifamily 2 Subdistrict

## MULTIFAMILY SUBDISTRICT 2 LEGAL DESCRIPTION

BEING a 26.58 acre tract of land situated in the Stephen Riggs Survey, Abstract No. 1088, City of Lewisville, Denton County, Texas, being a portion of Lot 1, Block A, Lewisville Corporate Center, as recorded in Cabinet V, Page 59, Plat Records, Denton County, Texas, being a tract of land conveyed by deed to Field Street Development I, Ltd., a Texas limited partnership, as to a 57% undivided interest, FLCT, Ltd., a Texas limited partnership, as to a 16% undivided interest, and NSHE TX Alpha Accommodation, LLC, a Texas limited liability company, as to a 27% undivided interest, as recorded in Instrument No. 2015-135500, Deed Records, Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at the most western northwest corner of said Lot 1, being in the west line of the remainder of a tract of land called 66.376 acres conveyed by deed to Alpha-Republic Investments, LTD, as recorded in Instrument No. 2000-61835, Deed Records, Denton County, Texas, and being in the existing east right-of-way line of Summit Avenue (having a variable width public right-of-way);

THENCE North 58°12'30" East, along the north line of said Lot 1, a distance of 794.93 feet to a point;

THENCE South 31°47'30" East, a distance of 692.89 feet to a point;

THENCE South 26°33'37" East, a distance of 728.42 feet to a point, being in the south line of said Lot 1 and the north line of a tract of land conveyed by deed to Texas Power & Light Co., as recorded in Volume 1107, Page 899, Deed Records, Denton County, Texas, being a common line;

THENCE South 88°03'44" West, along said common line, a distance of 428.68 feet to a point;

THENCE South 00°37'02" East, continuing along said south line, a distance of 525.29 feet to a point, being the southwest corner of Tract 2 conveyed by deed to Team ABC LTD., as recorded in Instrument No. 2005-109866, Deed Records, Denton County, Texas, and being in the existing north right-of-way line of Grandys Lane (having a variable width public right-of-way);

THENCE South 89°35'40" West, continuing along said south line and along said existing north right-of-way line, being a common line, a distance of 213.78 feet to a point, for the beginning of a tangent curve to the right having a radius of 234.00 feet, a central angle of 12°34'41", and a long chord which bears North 84°06'59" West, 51.27 feet;

THENCE continuing along said common line and along said tangent curve to the right, an arc length of 51.37 feet to a point, for the beginning of a reverse curve to the left having a radius of 266.00 feet, a central angle of 12°34'41", and a long chord which bears North 84°06'59" West, 58.28 feet;

THENCE along said reverse curve to the left, an arc length of 58.39 feet to a point;

THENCE South 89°35'40" West, a distance of 69.00 feet to a point, being in the intersection of said existing north right-of-way line and said existing east right-of-way line;

THENCE North 45°24'34" West, leaving said common line, along said existing east right-of-way line and the west line of said Lot 1, being a common line, a distance of 25.46 feet to a point;

THENCE North 00°24'49" West, along said common line, a distance of 15.01 feet to a point, for the beginning of a tangent curve to the left having a radius of 625.00 feet, a central angle of 32°02'48", and a long chord which bears North 16°26'13" West, 345.04 feet;

THENCE along said tangent curve to the left, continuing along said common line, an arc length of 349.58 feet to a point, for the beginning of a reverse curve to the right having a radius of 525.00 feet, a central angle of 25°00'50", and a long chord which bears North 19°57'12" West, 227.39 feet;

THENCE along said reverse curve to the right, an arc length of 229.20 feet to a point, for the beginning of a compound curve to the right having a radius of 237.00 feet and a central angle of 18°24'53" and a long chord which bears North 01°45'39" East, 75.84 feet;



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**EXHIBIT A PROPERTY DESCRIPTION**

# Commercial Subdistrict

## Commercial Subdistrict TRACT 4 LEGAL DESCRIPTION

BEING a 26.58 acre tract of land situated in the Stephen Riggs Survey, Abstract No. 1088, City of Lewisville, Denton County, Texas, being a portion of Lot 1, Block A, Lewisville Corporate Center as recorded in Cabinet V, Page 59, Plat Records, Denton County, Texas, being a tract of land conveyed by deed to Field Street Development I, Ltd., a Texas limited partnership, as to a 57% undivided interest, FLCT, Ltd., a Texas limited partnership, as to a 16% undivided interest, and NSHE TX Alpha Accommodation, LLC, a Texas limited liability company, as to a 27% undivided interest, as recorded in Instrument No. 2015-135500, Deed Records, Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at the most eastern northeast corner of said Field Street Development I, Ltd. tract, being in the north line of said Lot 1 and being in the existing west right-of-way line of Interstate Highway 35-E (having a variable width public right-of-way);

THENCE South 33°42'37" East, along said existing west right-of-way line and along the east line of said Field Street Development I, Ltd. tract, being a common line, a distance of 85.68 feet to a point, for the beginning of a tangent curve to the right having a radius of 18,321.00 feet and a central angle of 4°01'34" and a long chord which bears South 28°43'35" East, 1,287.16 feet;

THENCE continuing along said common line and along said tangent curve to the right, an arc length of 1,287.42 feet to a point;

THENCE South 24°22'45" East, a distance of 154.27 feet to a point, being in the south line of said Lot 1 and being in the north line of a tract of land conveyed by deed to Texas Power & Light Co., as recorded in Volume 1107, Page 899, Deed Records, Denton County, Texas;

THENCE South 88°03'44" West, leaving said common line, along said south line and along said north line, a distance of 212.27 feet to a point;

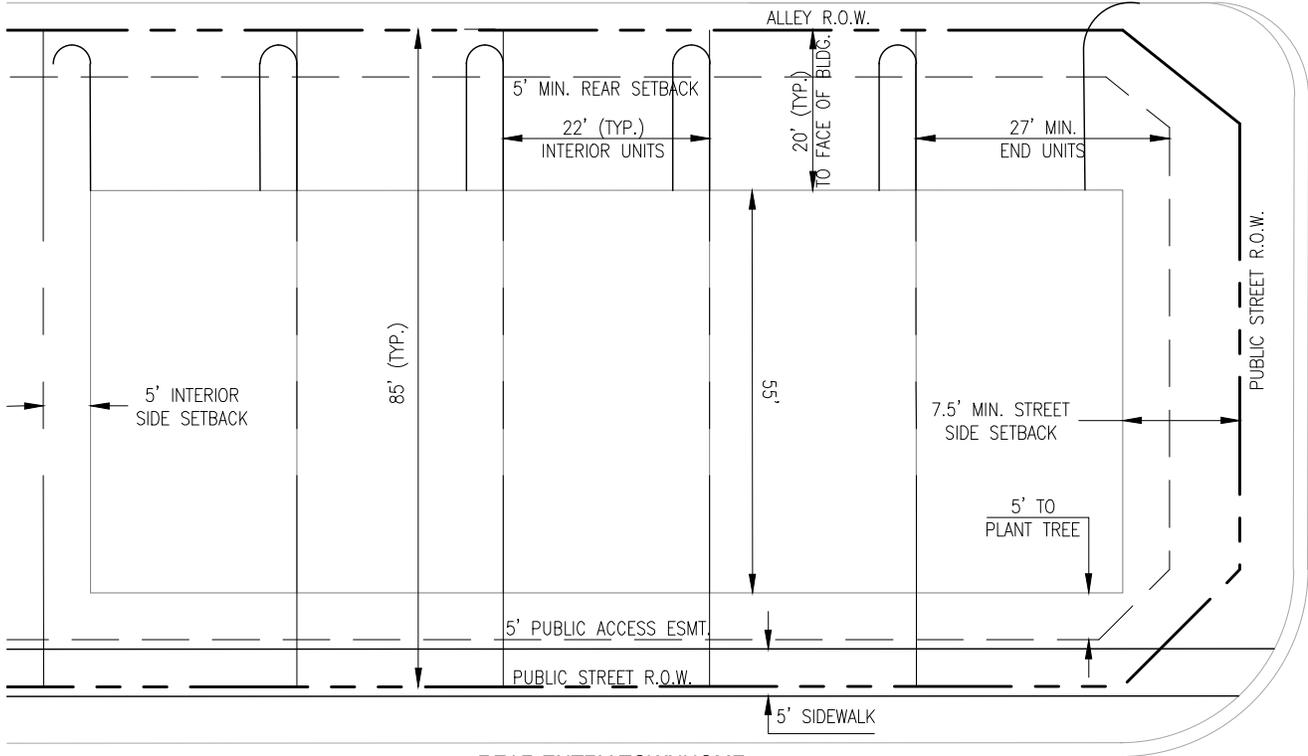
THENCE North 26°33'37" West, a distance of 728.42 feet to a point;

THENCE North 31°47'30" West, a distance of 692.89 feet to a point, being in the north line of said Lot 1;

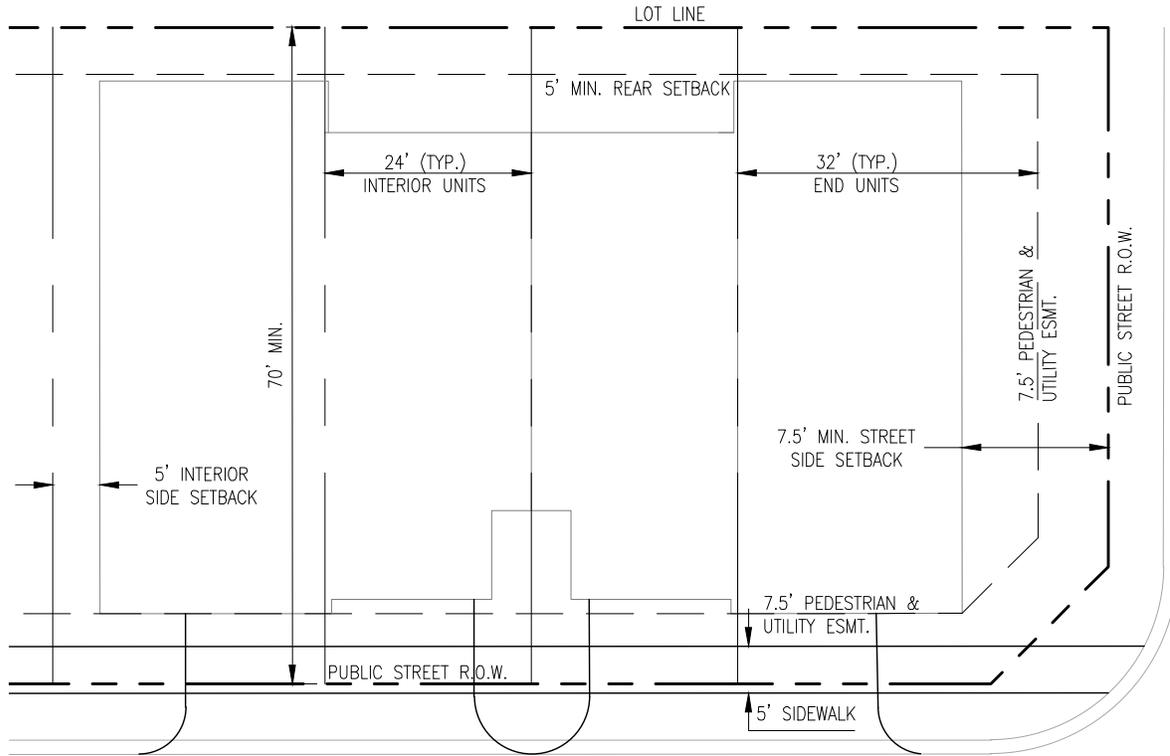
THENCE North 58°12'30" East, along said north line, a distance of 203.55 feet to the POINT OF BEGINNING and CONTAINING 289,245 square feet, 6.640 acres of land, more or less.

## EXHIBIT A PROPERTY DESCRIPTION





**REAR ENTRY TOWNHOME**  
**TYPICAL LOT LAYOUT**  
 N.T.S.



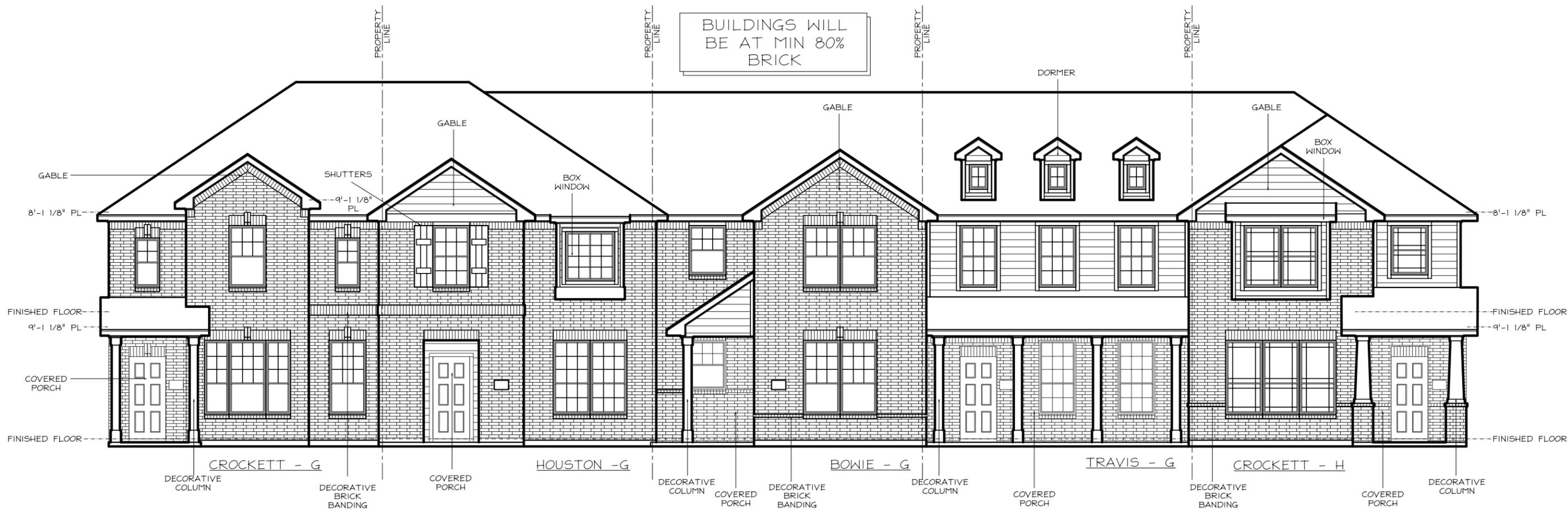
**FRONT ENTRY TOWNHOME**  
**TYPICAL LOT LAYOUT**  
 N.T.S.



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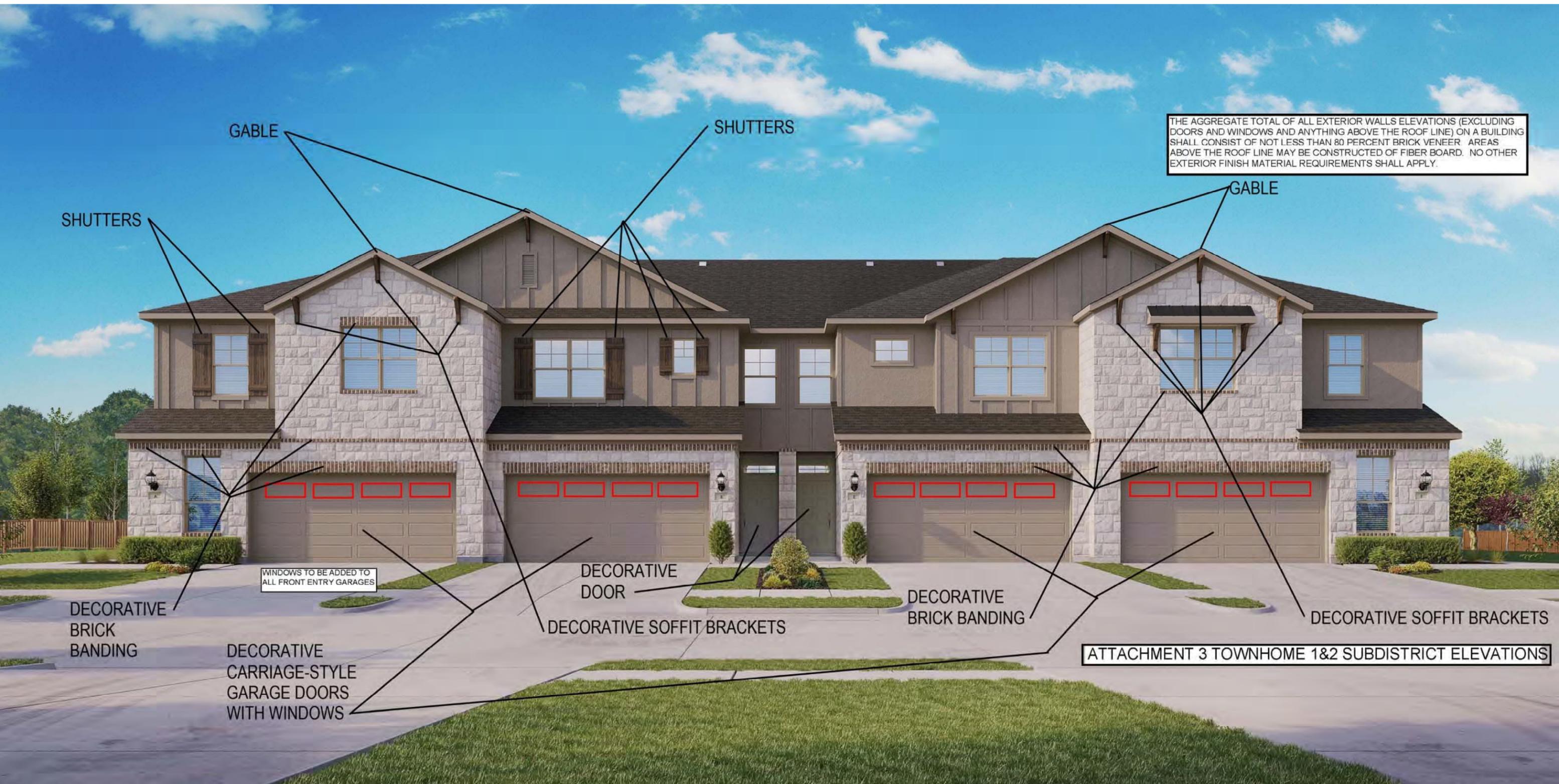
**ATTACHMENT 2**  
**TOWNHOME 1 SUBDISTRICT**  
**TYPICAL TOWNHOME LOT LAYOUT**

BUILDINGS WILL  
BE AT MIN 80%  
BRICK



PRELIMINARY BUILDING ELEVATION

ATTACHMENT 3 TOWNHOME 1&2 SUBDISTRICT ELEVATIONS



THE AGGREGATE TOTAL OF ALL EXTERIOR WALLS ELEVATIONS (EXCLUDING DOORS AND WINDOWS AND ANYTHING ABOVE THE ROOF LINE) ON A BUILDING SHALL CONSIST OF NOT LESS THAN 80 PERCENT BRICK VENEER. AREAS ABOVE THE ROOF LINE MAY BE CONSTRUCTED OF FIBER BOARD. NO OTHER EXTERIOR FINISH MATERIAL REQUIREMENTS SHALL APPLY.

WINDOWS TO BE ADDED TO ALL FRONT ENTRY GARAGES

ATTACHMENT 3 TOWNHOME 1&2 SUBDISTRICT ELEVATIONS



**LEGEND**

- 1 PEDESTRIAN BRIDGE
- 2 TRAIL ENTRY
- 3 TOWNHOME CLUB AMENITIES
- 4 TOWNHOME PRIVATE PARK
- 5 WETLAND
- 6 MULTI-FAMILY AMENITIES
- 7 MULTI-FAMILY PUBLIC PARK
- 8 PUBLIC PARK & WATER DETENTION
- 9 NATURAL STONE EDGE
- 10 BOARDWALK
- 11 NRP DEVELOPMENT



**HERITAGE TRAILS - HUFFINES**  
LEWISVILLE, TEXAS

**Talley Associates**  
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Tel. 214-871-7900  
Fax. 214-871-7985

**James Pole**  
Professional Engineer  
No. 16676  
State of Texas  
07/29/19



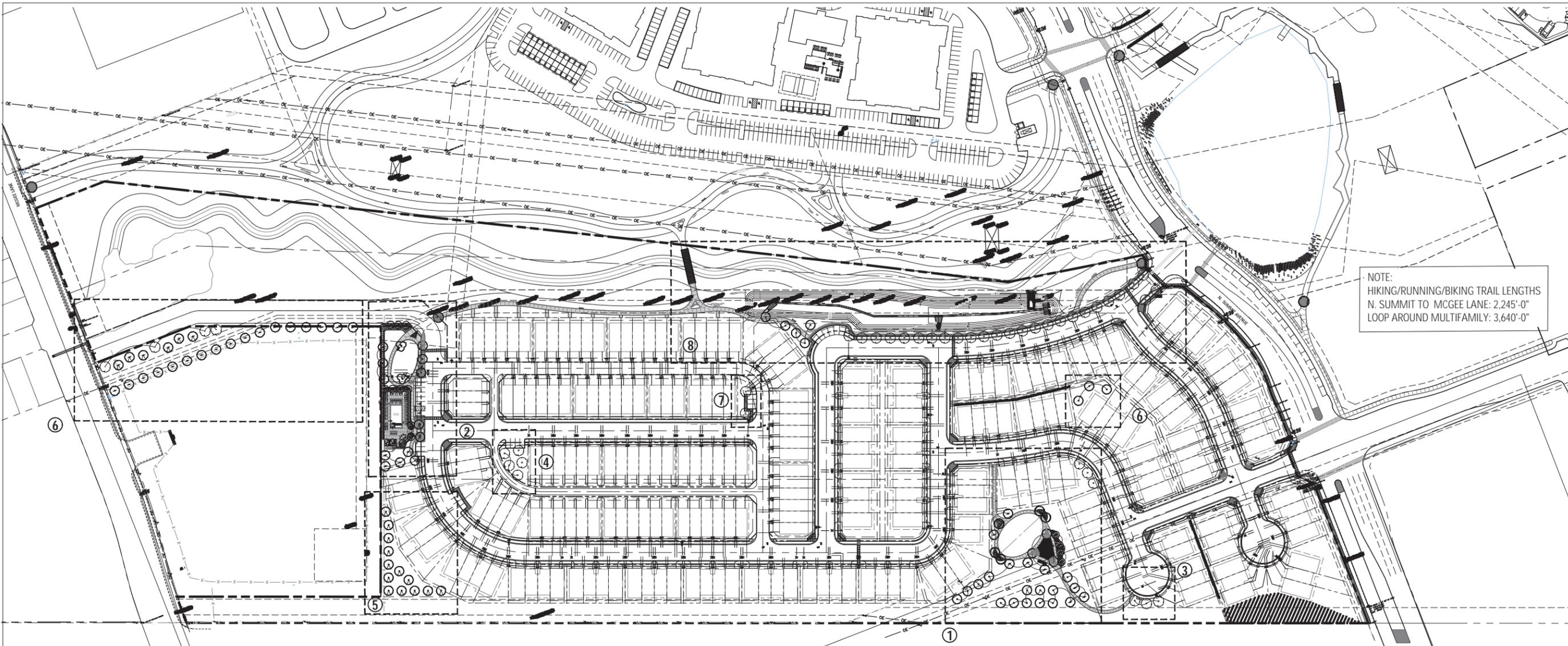
Project No.	18059.02
Drawn By:	AC, MB
Checked By:	XX
Date:	JULY 29, 2019
Issued:	#01 AUG. 30, 2019
Issued:	#02 NOV. 7, 2019
Issued:	
Revisions:	
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Sheet Title:  
**PLANTING PLAN**

**L-303**

Sheet No.:

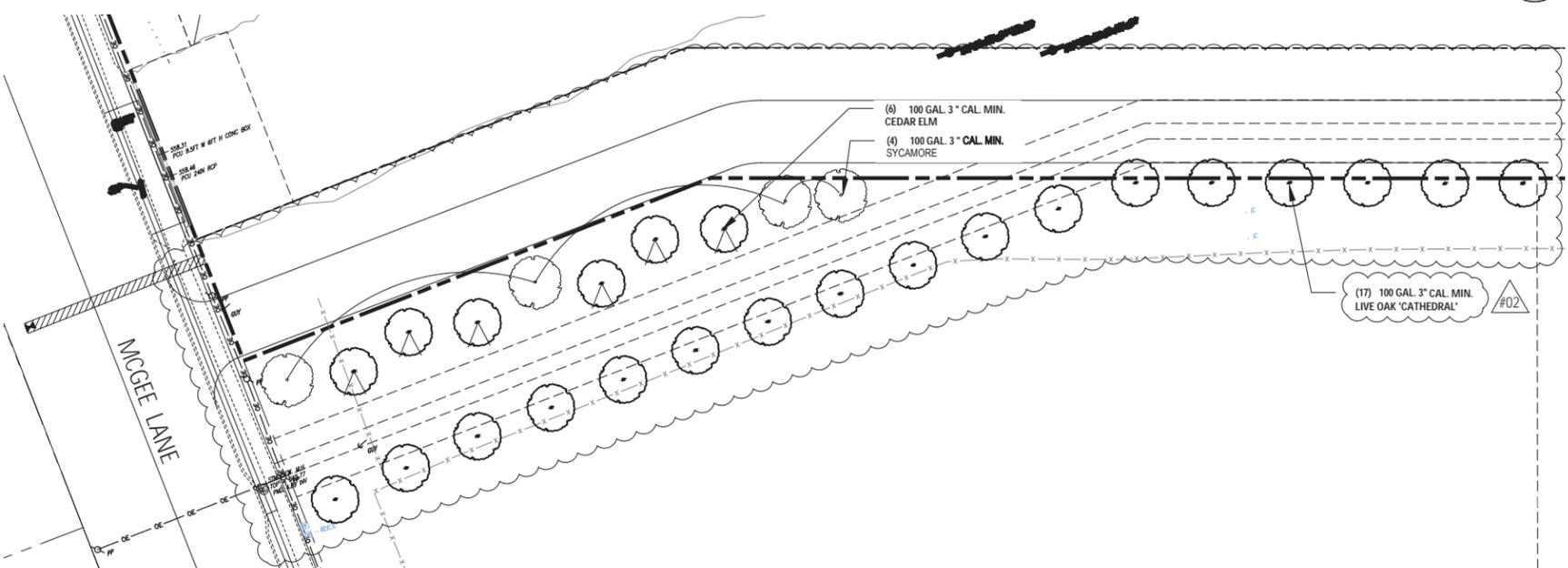
NOT FOR CONSTRUCTION



**PLANT LIST**

Sym.	Qty.	Common Name	Botanical Name	Size & Remarks
<b>TREES</b>				
AR	10	October Glory Maple	<i>Acer rubrum 'October Glory'</i>	100 Gal., Min. 3" Cal., Container Grown
GB	04	Ginkgo 'Autumn Gold'	<i>Ginkgo biloba</i>	100 Gal., Min. 3" Cal.
PO	43	Sycamore	<i>Platanus occidentalis</i>	100 Gal., Min. 3" Cal., Container Grown
OT	03	Red Oak	<i>Quercus tesana</i>	100 Gal., Min. 3" Cal., Container Grown
QV	51	Live Oak 'Catheral'	<i>Quercus virginia</i>	100 Gal., Min. 3" Cal., Container Grown
UC	19	Cedar Elm	<i>Ulmus crassifolia</i>	100 Gal., Min. 3" Cal., Container Grown
VA	14	Vitex tree	<i>Vitex agnus-castus</i>	45 Gal., 8' ht., 8" Spr., Multi-trunk, Container Grown
UC 1	02	Cedar Elm	<i>Ulmus crassifolia</i>	Min. 6" Cal., Triple Trunk, Min. 20' Height
<b>SHRUBS</b>				
AG	24	Abelia	<i>Abelia x chinensis 'Rose Creek'</i>	5 gal., @ 36" o.c., Full
IC	252	Dwarf Burford Holly	<i>Ilex cornuta 'Dwarf Burford'</i>	7 gal., 4' Height at time of planting, @ 42" o.c., Full
IV	160	Dwarf Yaupon Holly	<i>Ilex vomitoria 'Nana'</i>	3 gal., @ 36" o.c., Full
LF	36	Texas Sage	<i>Leucophyllum frutescens 'Desperado'</i>	7 gal., @ 42" o.c., Full
LS	10	Sunshine Ligustrum	<i>Ligustrum sinense 'Sunshine'</i>	3 gal., @ 30" o.c., Full
MC	86	Gulf Muhly	<i>Muhlenbergia carprillarlis</i>	3 gal., @ 42" o.c., Full
MS	27	Maiden Grass	<i>Miscanthus sinensis 'Adagio'</i>	3 gal., @ 36" o.c., Full
ND	10	Gulf Stream Nandina	<i>Nandina domestica 'Gulf Stream'</i>	3 gal., @ 24" o.c., Full
PA	61	Dwarf Fountain Grass	<i>Pennisetum alopecuroides 'Hameln'</i>	1 gal., @ 18" o.c., Full
SF	37	Salvia 'Henry Duelberg'	<i>Salvia farnacea 'Henry Duelberg'</i>	3 gal., @ 42" o.c., Full
SG	56	Autumn Sage 'Dark Pink'	<i>Salvia greggii</i>	3 gal., @ 36" o.c., Full
SS	14	Pink Skull Cap	<i>Scutellaria suffrutescens</i>	3 gal., @ 24" o.c., Full
<b>GROUNDCOVER/ VINES</b>				
EC	163	Weeping Love Grass	<i>Eragrostis curvula</i>	1 Gal., @ 18" o.c., Full
LM	37	New Blue Liriope	<i>Liriope muscari 'New Blue'</i>	1 gal., @ 18" o.c., Full
NT	538	Mexican Feather Grass	<i>Nassella tenuissima</i>	1 gal., @ 18" o.c., Full

**A SITE PLAN**  
Scale: 1" = 100'-0"



**6 PLANTING PLAN - NOT INCLUDED WITH THIS SUBDISTRICT**  
Scale: 1/32" = 1'-0"

**ATTACHMENT 5 - TOWNHOME 1 SUBDISTRICT PLANTING PLAN**

HERITAGE TRAILS - HUFFINES LEWISVILLE, TEXAS

**Talley Associates**  
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Dallas, Texas 75201  
Tel. 214-871-7900  
Fax. 214-871-7985

**James Pole**  
Professional Engineer  
No. 16610  
State of Texas  
07/29/19



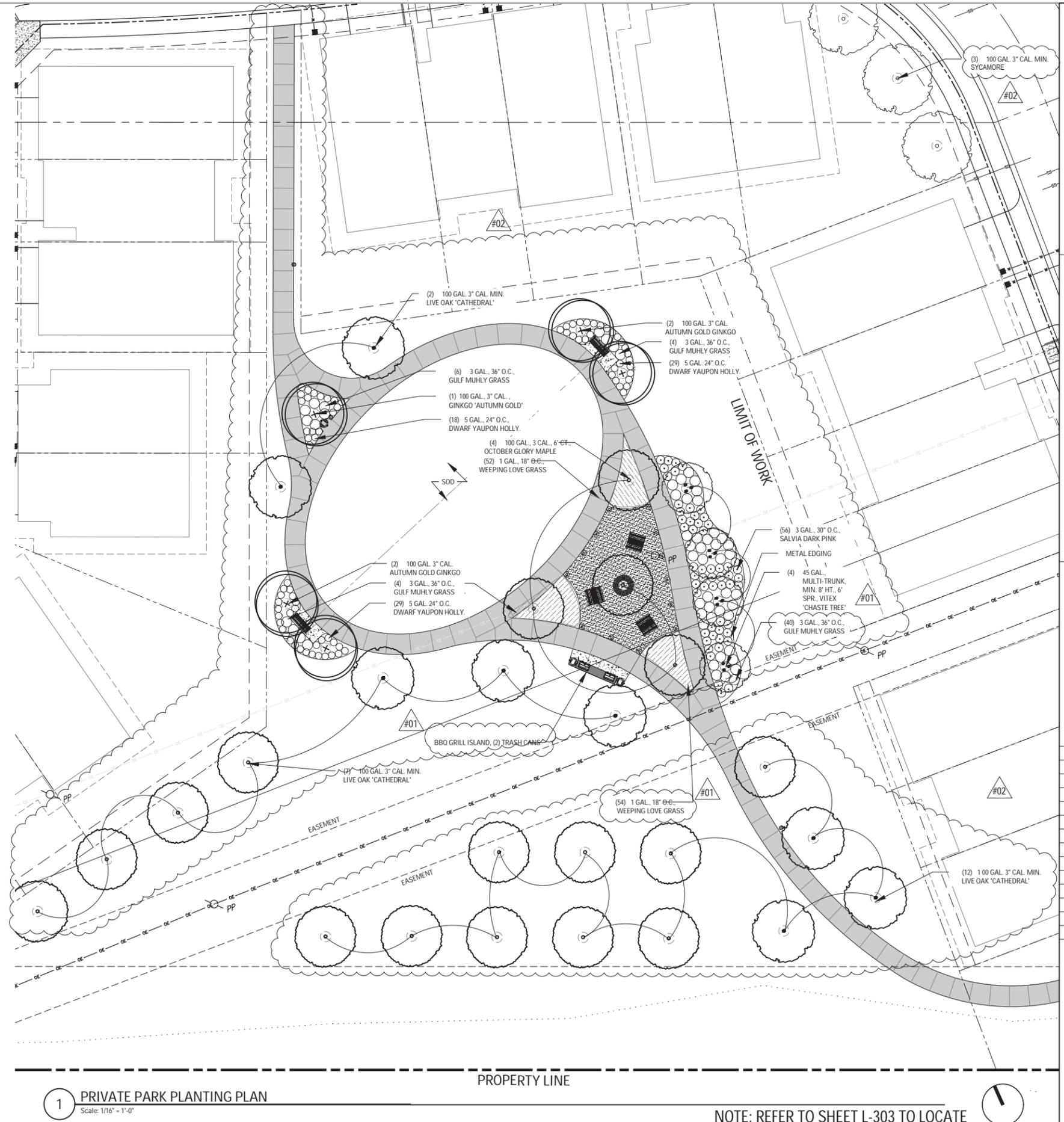
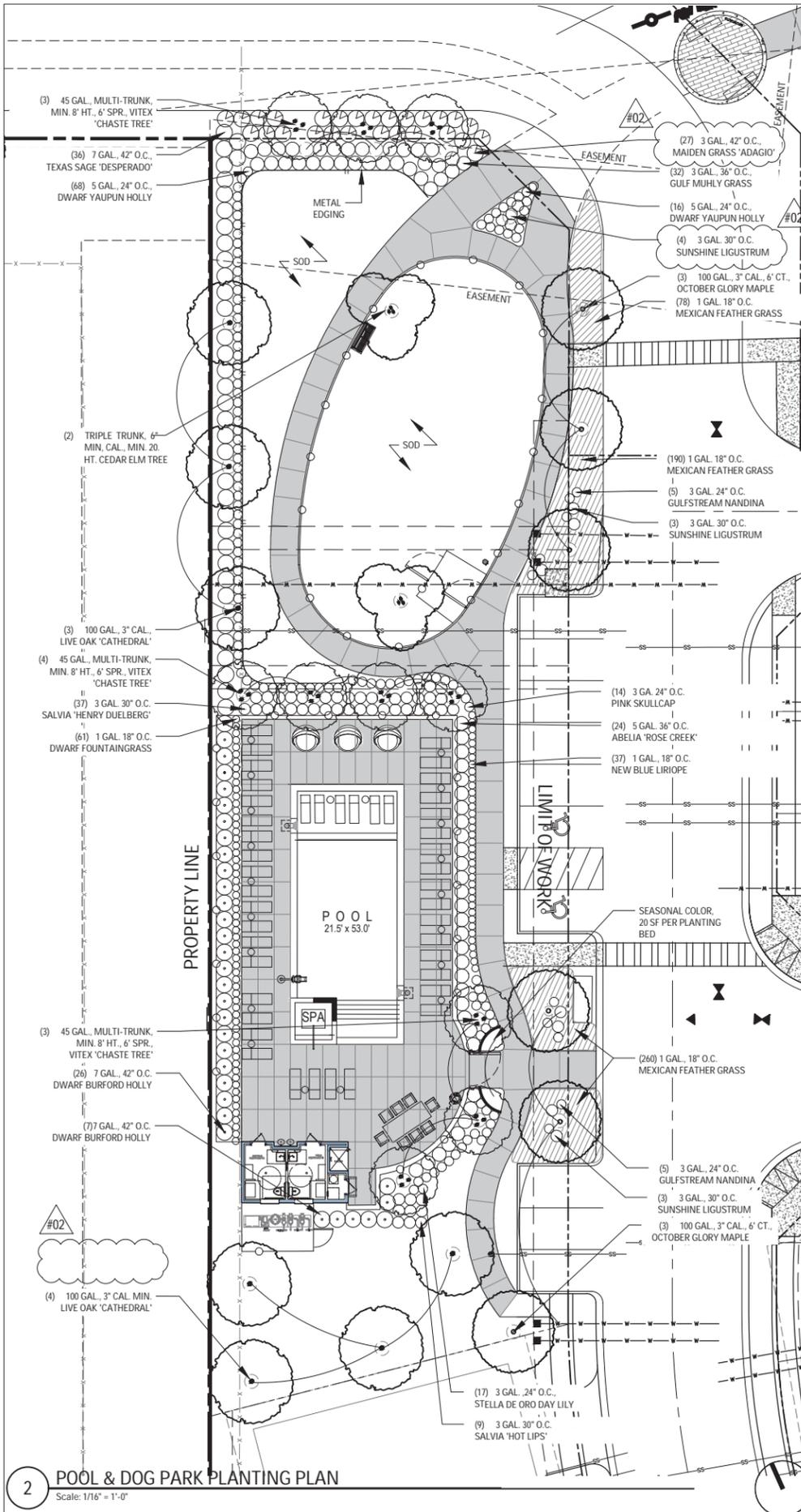
Project No.	18059.02
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Revisions:	
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Sheet Title:  
**PLANTING PLAN**

**L-301**

Sheet No.:

NOT FOR CONSTRUCTION



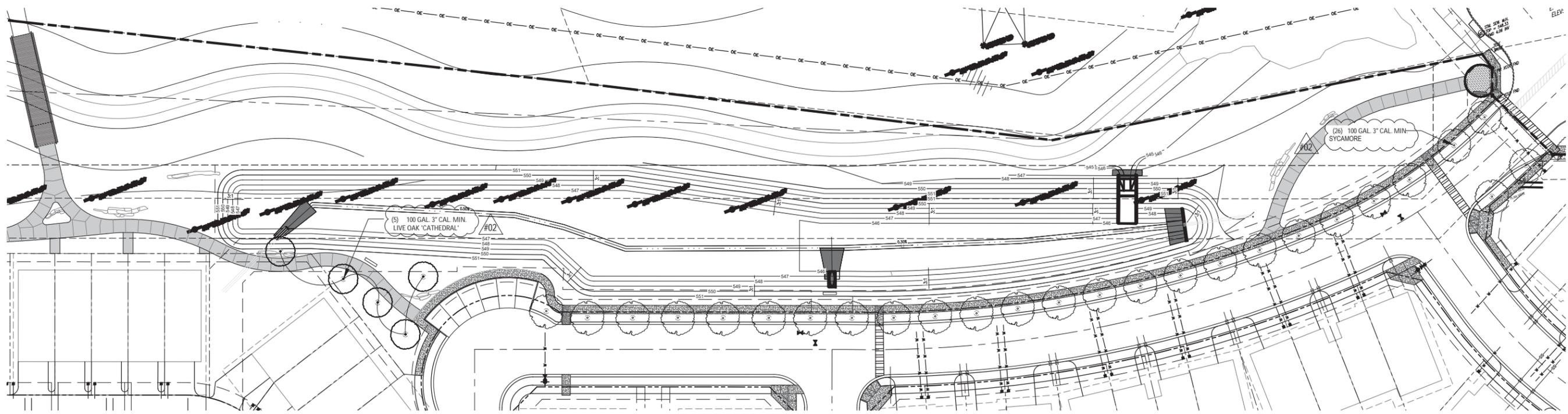
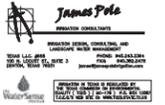
**ATTACHMENT 5 - TOWNHOME1 SUBDISTRICT PLANTING PLAN**

NOTE: REFER TO SHEET L-303 TO LOCATE PLANTING ENLARGEMENT ON SITE PLAN  
PLANT LIST IS ON SHEET L-303

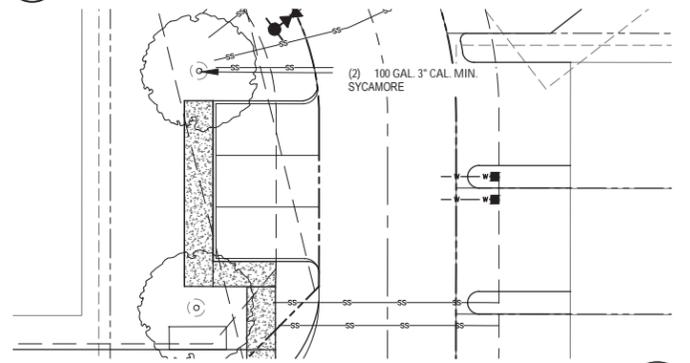
**HERITAGE TRAILS - HUFFINES**  
LEWISVILLE, TEXAS

**Talley Associates**

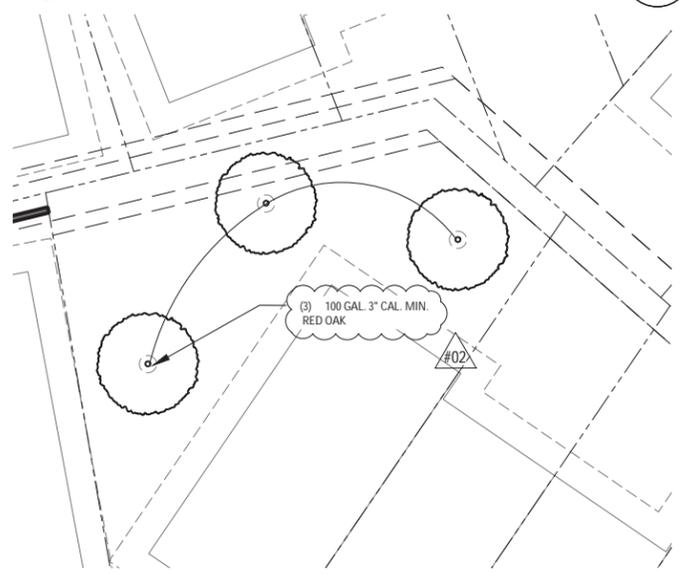
Landscape Architecture  
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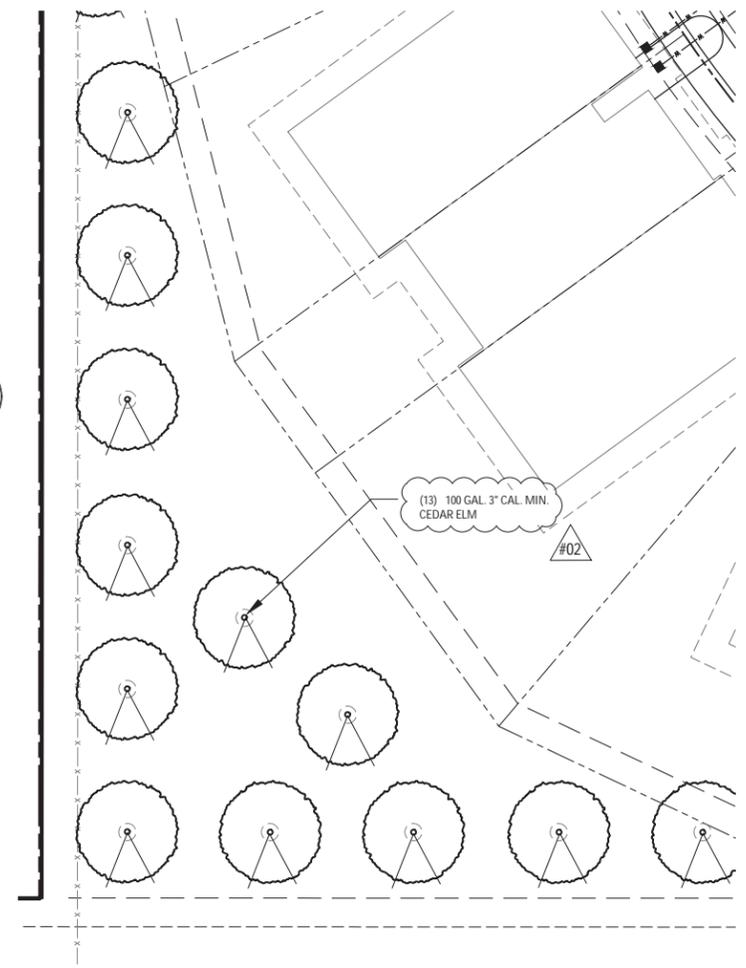
**7 STREETSCAPE PLANTING PLAN**  
Scale: 1/32" = 1'-0"



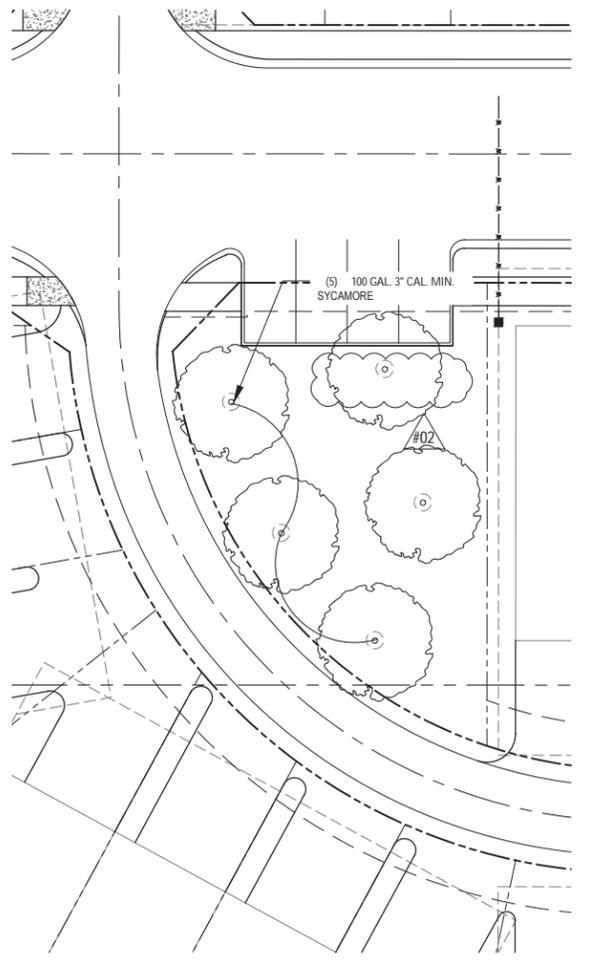
**7 PUBLIC SPACE - PLANTING PLAN**  
Scale: 1/16" = 1'-0"



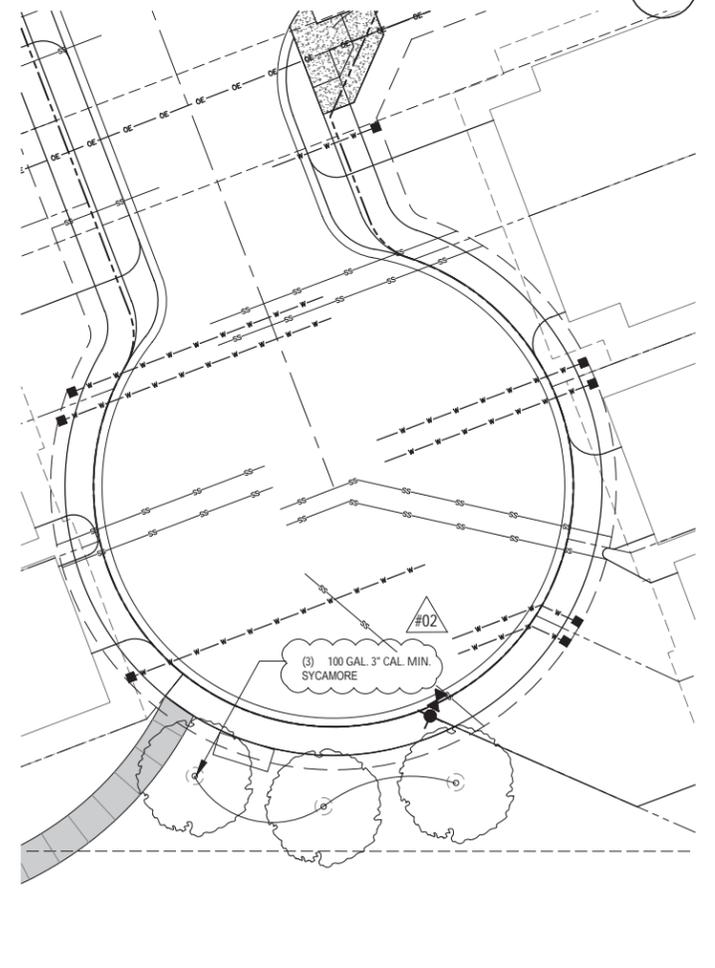
**6 PUBLIC SPACE - PLANTING PLAN**  
Scale: 1/16" = 1'-0"



**5 SCREEN GAS SUPPLY YARD PLANTING PLAN**  
Scale: 1/16"



**4 SMALL CORNER PARK PLANTING PLAN**  
Scale: 1/16" = 1'-0"



**3 CUL-DE-SAC PLANTING PLAN**  
Scale: 1/16" = 1'-0"



Project No.	18059.02
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Revisions:	
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Sheet Title:  
**PLANTING PLAN**

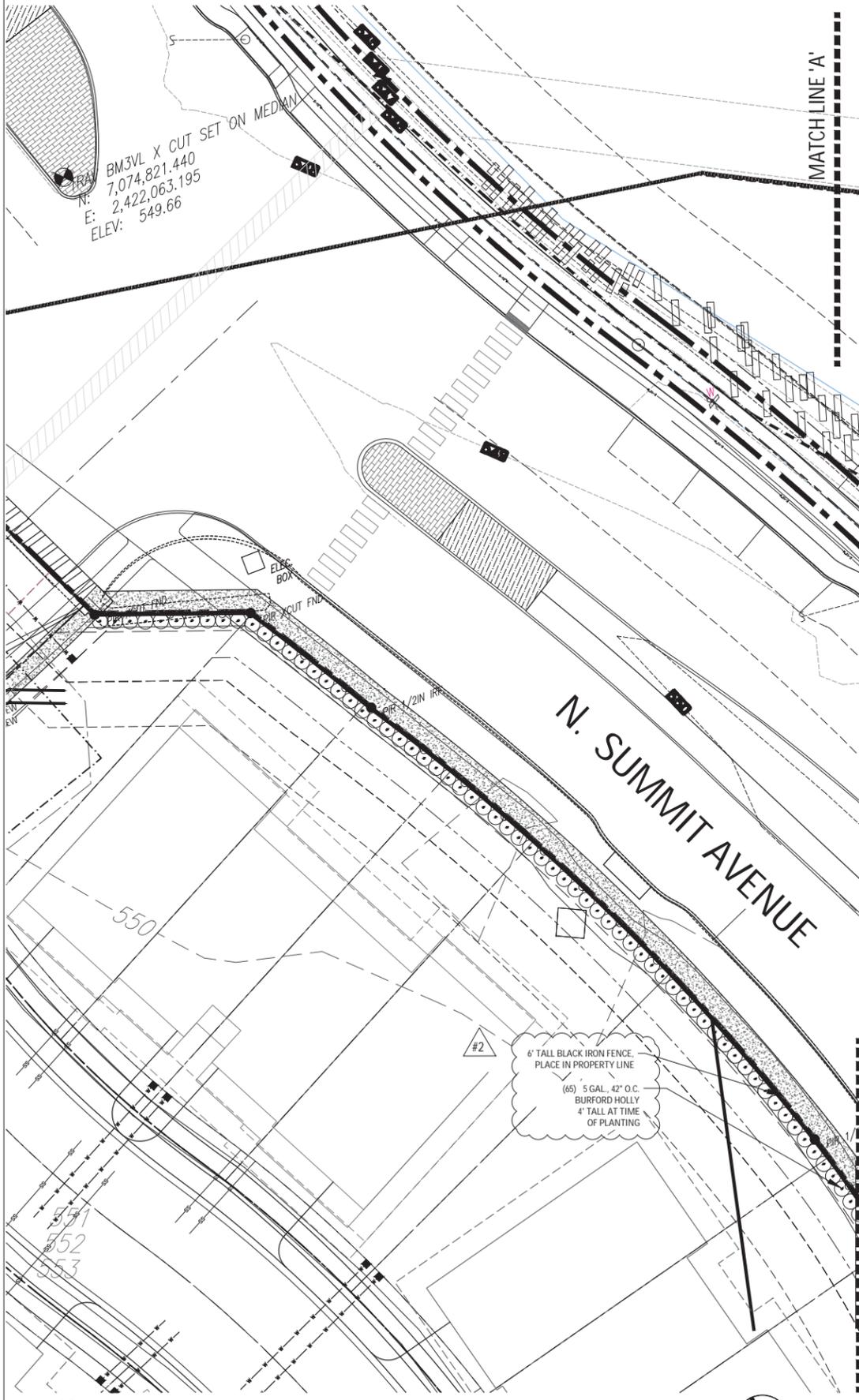
**L-302**

Sheet No.:

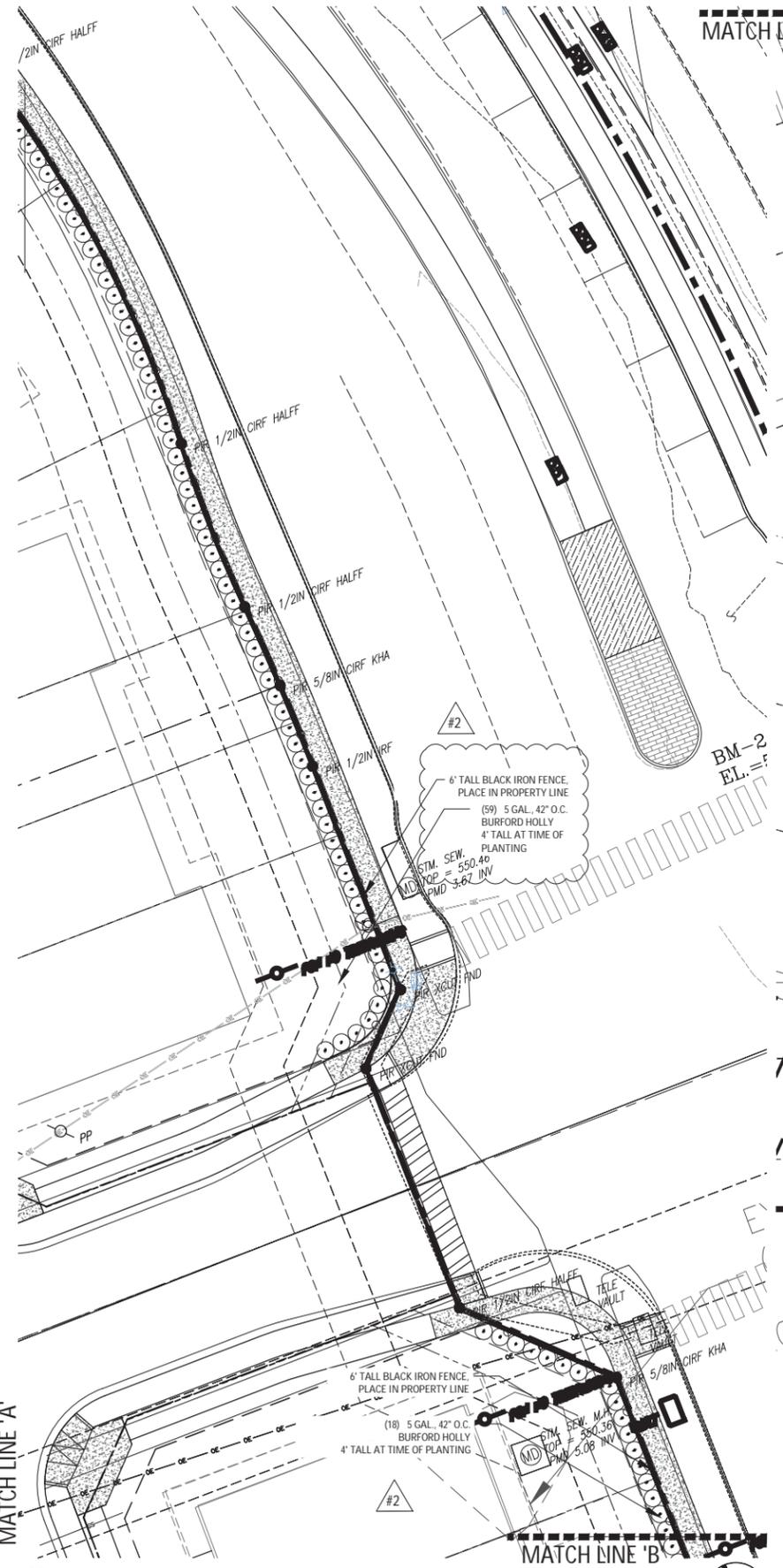
NOTE: REFER TO SHEET L-303 TO LOCATE PLANTING ENLARGEMENT ON SITE PLAN  
PLANT LIST IS ON SHEET L-303

**ATTACHMENT 5 - TOWNHOME 1 SUBDISTRICT PLANTING PLAN**

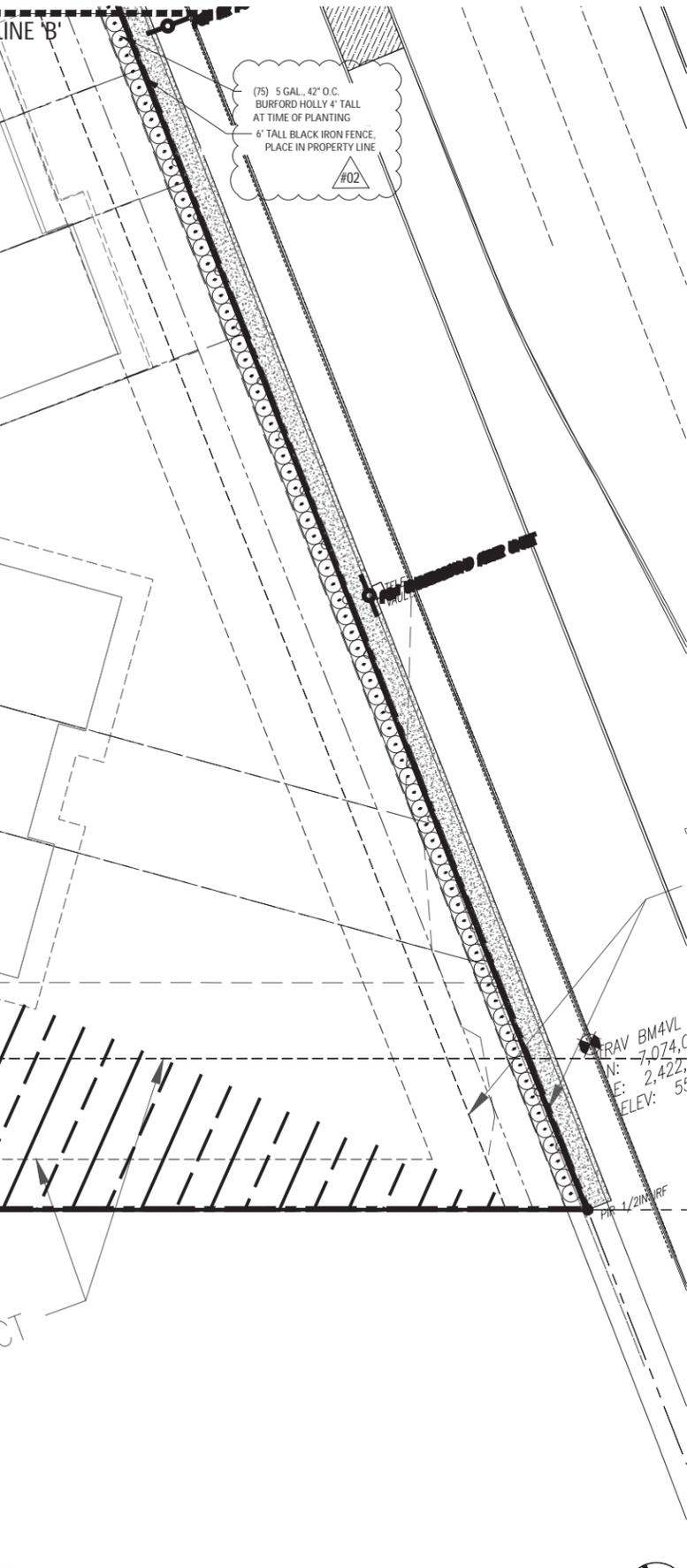
NOT FOR CONSTRUCTION



3 PRIVACY HEDGE PLAN ALONG N. SUMMIT AVE.  
Scale: 1/16" = 1'-0"



2 PRIVACY HEDGE PLAN ALONG N. SUMMIT AVE.  
Scale: 1/16" = 1'-0"



1 PRIVACY HEDGE PLAN ALONG N. SUMMIT AVE.  
Scale: 1/16" = 1'-0"

**ATTACHMENT 5 - TOWNHOME 1 SUBDISTRICT PLANTING PLAN**

NOTE: REFER TO PLANTING LIST ON SHEET L-303

**HERITAGE TRAILS - HUFFINES**  
LEWISVILLE, TEXAS

**Talley Associates**  
Landscape Architecture  
Planning  
Urban Design  
1925 San Jacinto, Suite 400  
Dallas, Texas 75201  
Tel. 214-871-7900  
Fax. 214-871-7985

**James Pole**  
Professional Engineer  
No. 144,123 - State of Texas  
11/07/19



Project No.	18059.02
Drawn By:	AC, MB
Checked By:	XX
Date:	JULY 29, 2019
Issued:	
Issued:	
Issued:	
Revisions:	
	△ #01 AUG. 30, 2019
	△ #02 OCT. 31, 2019
	△
	△

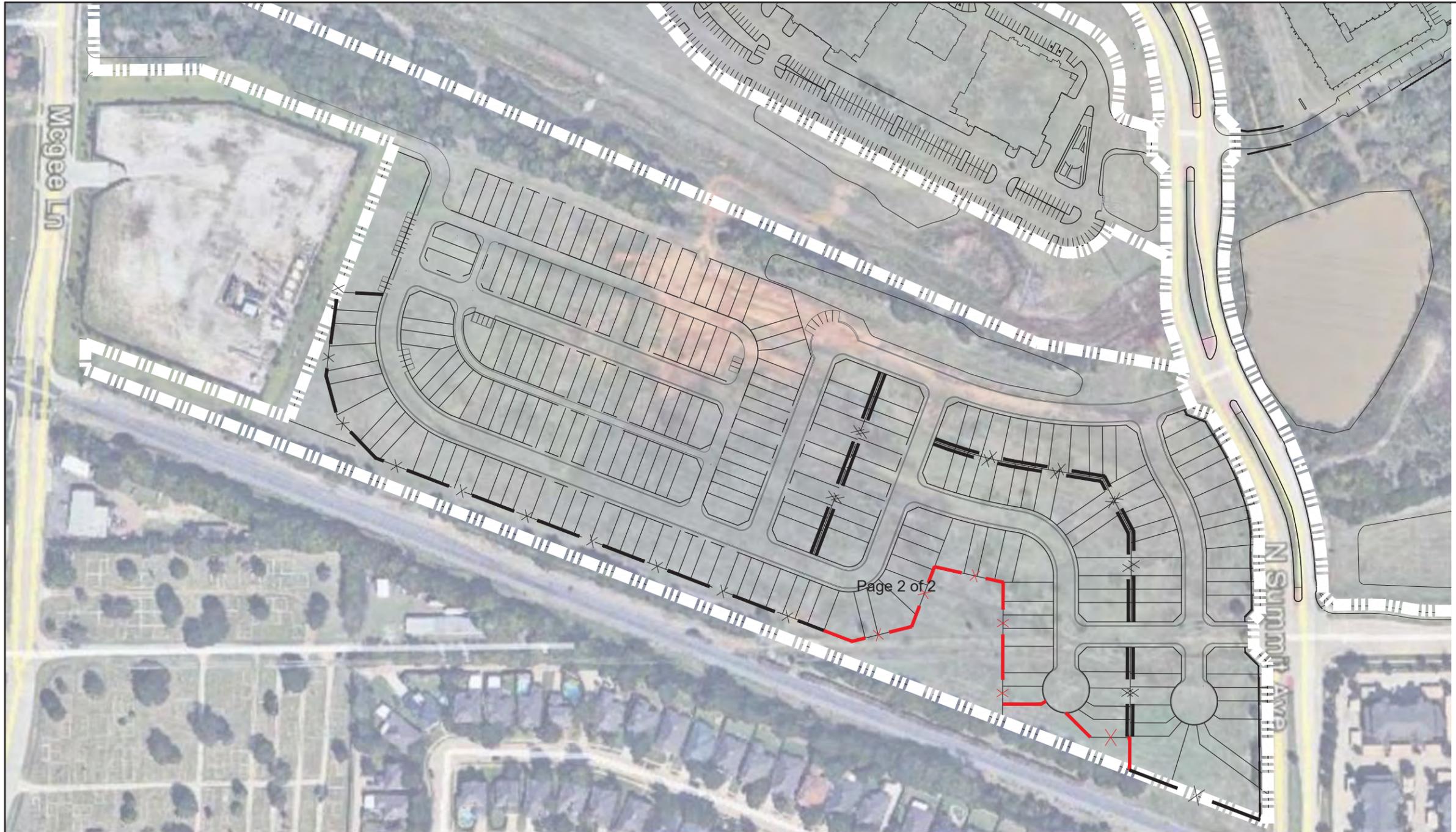
Sheet Title:  
**PRIVACY HEDGE PLANTING PLAN**

**L-304**

Sheet No.:

NOT FOR CONSTRUCTION

CAUTION:  
 EXISTING UTILITIES AND UNDERGROUND FACILITIES OF THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION AND AS-BUILT PLANS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION.



**LEGEND**

- WOODEN FENCING
- TUBULAR STEEL FENCING

**NOTE:**  
 REFERENCE SECTION VI(H) OF PLANNED DEVELOPMENT FOR MINIMUM PARKING REQUIREMENTS FOR EACH TRACT.



THE VILLAGE AT LEWISVILLE		
ATTACHMENT 6 FENCING PLAN		
LAND USE REGULATIONS CITY OF LEWISVILLE, DENTON COUNTY, TEXAS		
 <b>Graham Associates, Inc.</b> CONSULTING ENGINEERS & PLANNERS <small>600 SIX FLAGS DRIVE, SUITE 500          ARLINGTON, TEXAS 76011   (817) 544-8535          TBP# FIRM: F-1191/TBPLS FIRM: 101538-00</small>		
DRAWN BY: As-Noted	PROJECT NO. 2607-1067	SHEET
DATE: 10/1/2018	SHEET 1 OF 1	2

PLOTTED BY: JOSH STEDER  
 PLOTTED ON: 1/22/2020 2:09 PM  
 FILE NAME: \\LEWISVILLE\LEWISVILLE\LEWISVILLE\LEWISVILLE\PD EXHIBITS\ATTACHMENT 7 FENCING PLANNING  
 SHEET SIZE: ANSI FULL BLEED D (34.00 X 22.00 INCHES) 1" = 1'



ELEVATION  
**REAR & SIDE LOT FENCING**

— X — Fencing Adjacent to Residential Road



ELEVATION  
**INTERIOR REAR & INTERIOR SIDEYARD FENCING**

— X — Standard Screening  
 (All posts to be 2 3/8" diam. 13 gauge galv. steel w/cap; steel posts and caps not to be visible from street; pickets to be butted 1x6 cedar; all fences to have pressure treated 2x4 horiz. rails on lot side and 1x4 cedar horiz. rails on street side w/2x8 cedar cap)



ELEVATION  
**SIDE AND REAR YARD FENCE  
 (ADJACENT TO PUBLIC OPEN SPACE)**

— X — Open Space Screening  
 (Tubular steel Fence between 6' to 8' heights with 4' Gate, No Column; Lot adjacent to Army Corp of Engineers property DO NOT install gate)



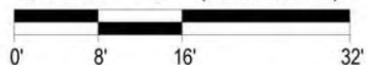
FRONT ELEVATION



SIDE ELEVATION

ATTACHMENT 7 MULTIFAMILY 1 SUBDISTRICT ELEVATIONS

SCALE: 1/8" = 1'-0" (24"x36" SHEET)





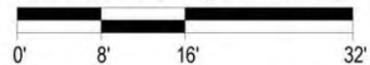
REAR ELEVATION - BLDG I & II



REAR ELEVATION - BLDG III

ATTACHMENT 7 MULTIFAMILY 1 SUBDISTRICT ELEVATIONS

SCALE: 1/8" = 1'-0" (24"x36" SHEET)

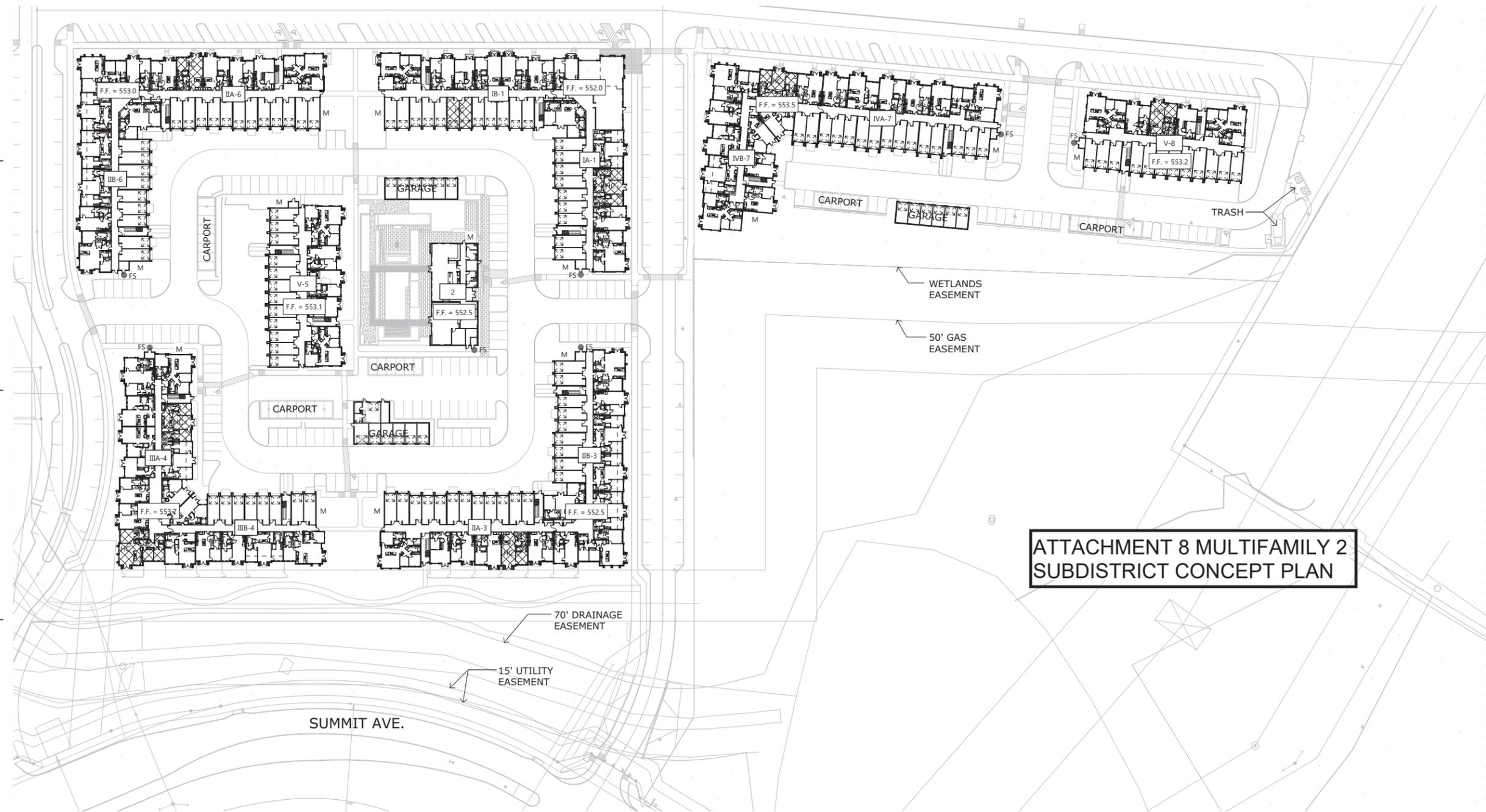




06 VICINITY MAP  
 NOT TO SCALE

- NOTES:
- REFER TO OWNER'S CONSULTANTS CIVIL DRAWINGS PREPARED BY CROSS ENGINEERING FOR GRADING, DIMENSIONAL CONTROL, UTILITIES, PAVING SPECIFICATIONS AND PARKING QUANTITIES AND LAYOUT DETAILS.
  - REFER TO OWNERS GEOTECHNICAL CONSULTANT FOR SOIL PREP REQUIREMENTS OF SUBGRADE.
  - REFER TO OWNER'S CONSULTANTS LANDSCAPE ARCHITECTS DRAWINGS FOR ALL INFORMATION RELATING TO POOL LAYOUT AND DETAILING, SIDEWALKS, FENCING, PLANTING AND SCREENING AREAS.
- INDICATES BUILDING NUMBER
  - INDICATES BUILDING TYPE / FIRE AREA
  - PROPERTY LINES
  - INDICATES HANDICAP PARKING SPACES, VERIFY W/ CIVIL DRWGS FOR SURFACE PARKING
  - FS INDICATES SPRINKLER CLOSET LOCATION
  - INDICATES TYPE "A" HANDICAP UNITS
  - M INDICATES METER LOCATIONS, REF. MEP
  - T INDICATES TRANSFORMER LOCATIONS, REF. MEP

04 Site General Notes and Legend



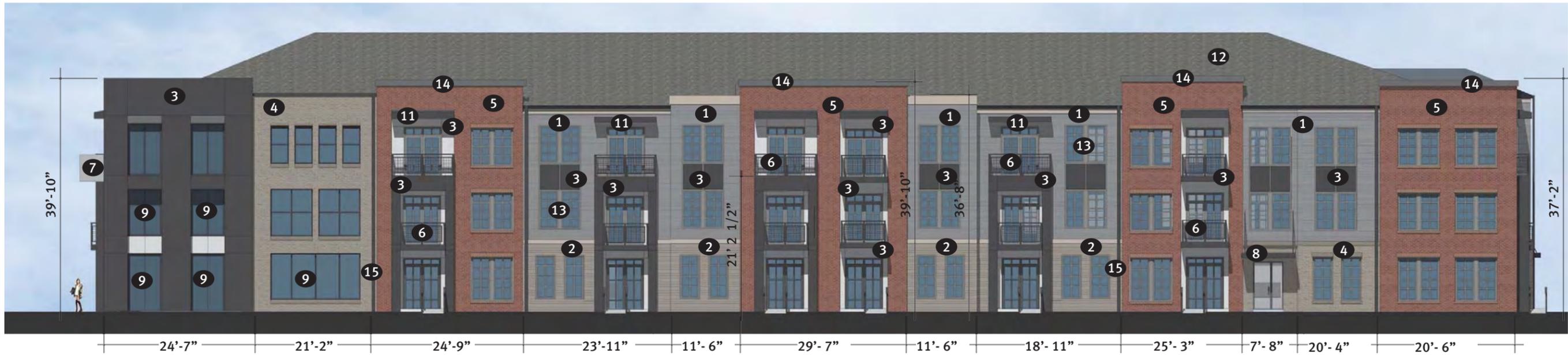
**ATTACHMENT 8 MULTIFAMILY 2  
 SUBDISTRICT CONCEPT PLAN**

The Village at Lewisville  
 Lewisville, Texas

25 Architectural Site Plan  
 Scale: 1" = 40' (ADDITIONAL DATA)

NRP Group

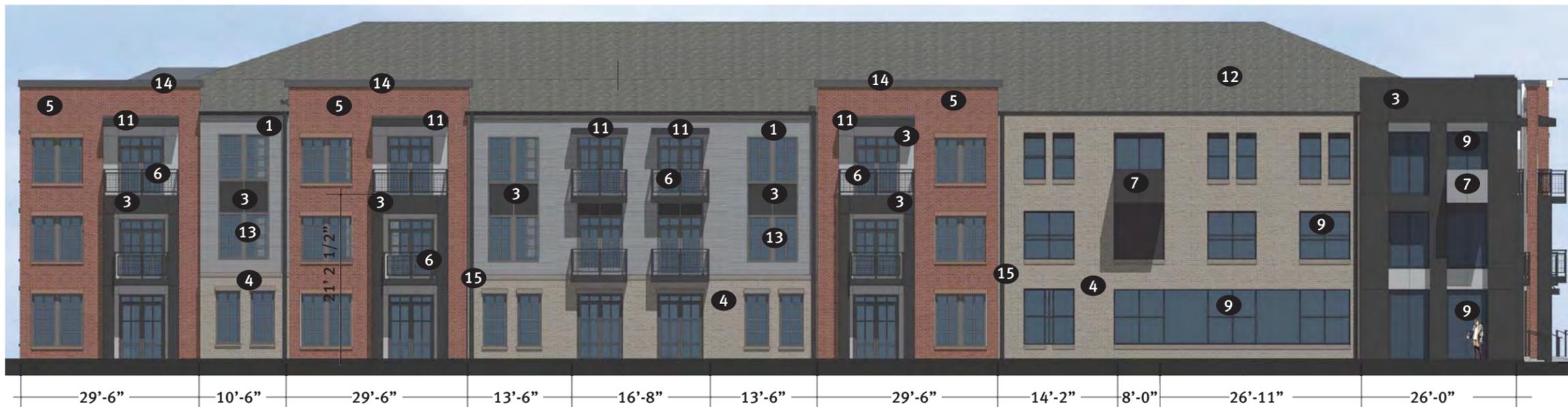
Project Number:	2018035
Drawn By:	mbrown
Issue for:	####
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**02** Building Type I - North Elevation  
Scale 1/8" = 1' - 0"

**MATERIAL LEGEND**

- 1 4" Cementitious Siding
- 2 4" and 8" Alternating Cementitious Siding
- 3 Cementitious Panel - Rainscreen  
Installation with Reveal Channels
- 4 Brick Masonry 1
- 5 Brick Masonry 2
- 6 Tube Steel with Pickets and 3"x3"  
Mesh Infill
- 7 Metal Cladded Balcony
- 8 Metal Sunshade with Tiebacks
- 9 Storefront
- 10 Garage
- 11 Wood Truss Awning with Cementitious  
Fascia and Soffit
- 12 Composition Shingle Roofing
- 13 Vinyl Windows ( Color: Clay)
- 14 Metal Coping
- 15 Downspouts



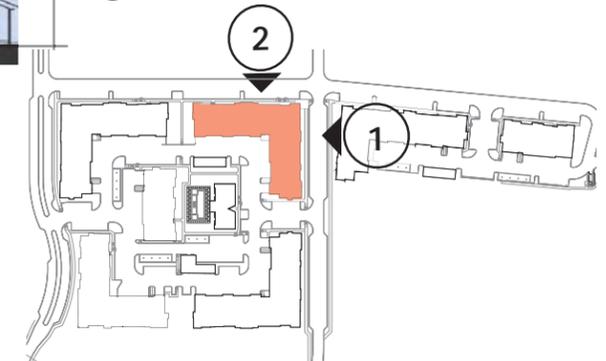
**01** Building Type I - East Elevation  
Scale 1/8" = 1' - 0"

Material Percentages : East Elevation Bldg Type I			
Material	Percentage	Total	
Brick	55%	55%	Non-Masonry Masonry
Cementitious Siding	19%		
Cementitious Panel	26%	45%	Non-Masonry
Total (%)	100%	100%	
Glazing (%)		26.63%	

Note: Total Material percentage does not include glazing.

Material Percentages : North Elevation Bldg Type I			
Material	Percentage	Total	
Brick	42%	42%	Non-Masonry Masonry
Cementitious Siding	31%		
Cementitious Panel	27%	58%	Non-Masonry
Total (%)	100%	100%	
Glazing (%)		26.01%	

Note: Total Material percentage does not include glazing.



**Key plan**





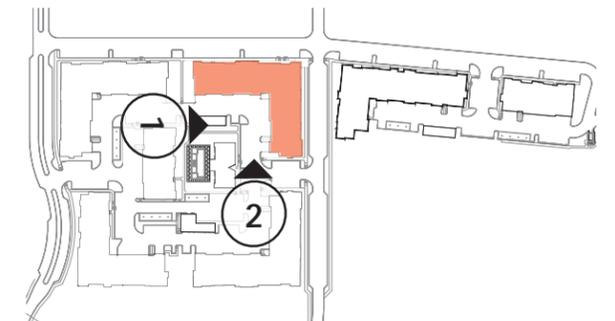
**02** Building Type I - South Elevation  
Scale 1/8" = 1' - 0"



**01** Building Type I - West Elevation  
Scale 1/8" = 1' - 0"

**MATERIAL LEGEND**

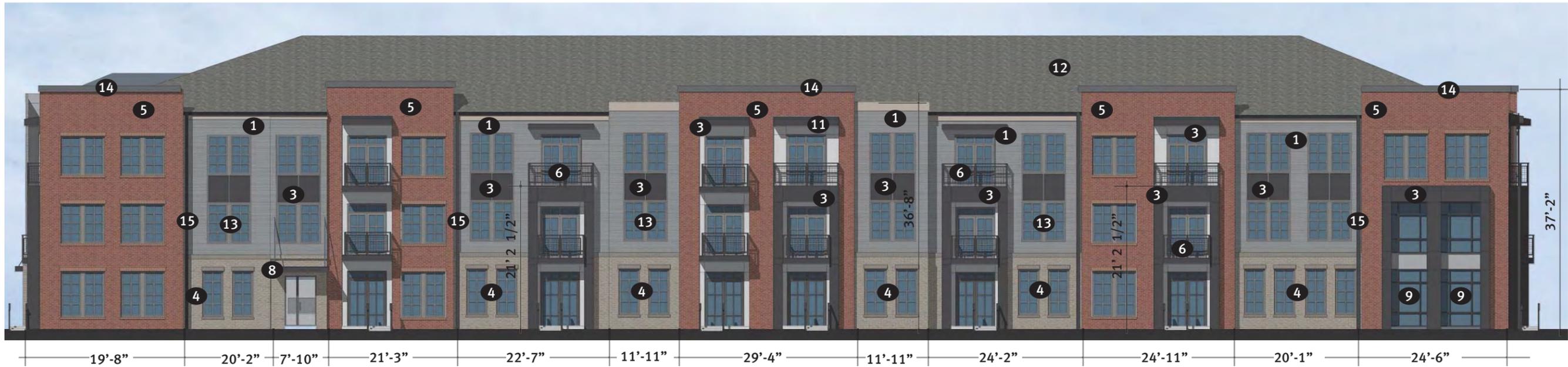
- 1 4" Cementitious Siding
- 2 4" and 8" Alternating Cementitious Siding
- 3 Cementitious Panel - Rainscreen  
Installation with Reveal Channels
- 4 Brick Masonry 1
- 5 Brick Masonry 2
- 6 Tube Steel with Pickets and 3"x3"  
Mesh Infill
- 7 Metal Cladded Balcony
- 8 Metal Sunshade with Tiebacks
- 9 Storefront
- 10 Garage
- 11 Wood Truss Awning with Cementitious  
Fascia and Soffit
- 12 Composition Shingle Roofing
- 13 Vinyl Windows ( Color: Clay)
- 14 Metal Coping
- 15 Downspouts



**Key plan**

Material Percentages : South Elevation Bldg Type I			
Material	Percentage	Total	
Brick	17%	17%	Non-Masonry
Cementitious Siding	71%		
Cementitious Panel	12%	83%	
<b>Total (%)</b>	<b>100%</b>	<b>100%</b>	

Material Percentages : West Elevation Bldg Type I			
Material	Percentage	Total	
Brick	10%	10%	Masonry
Cementitious Siding	80%		
Cementitious Panel	10%	90%	Non-Masonry
<b>Total (%)</b>	<b>100%</b>	<b>100%</b>	



**02** Building Type II - North Elevation  
Scale 1/8" = 1' - 0"



**01** Building Type II - West Elevation  
Scale 1/8" = 1' - 0"

Material Percentages : North Elevation Bldg Type II		
Material	Percentage	Total
Brick	55%	55%
Cementitious Siding	25%	
Cementitious Panel	20%	45%
Total (%)	100%	100%
Glazing (%)		27.93%

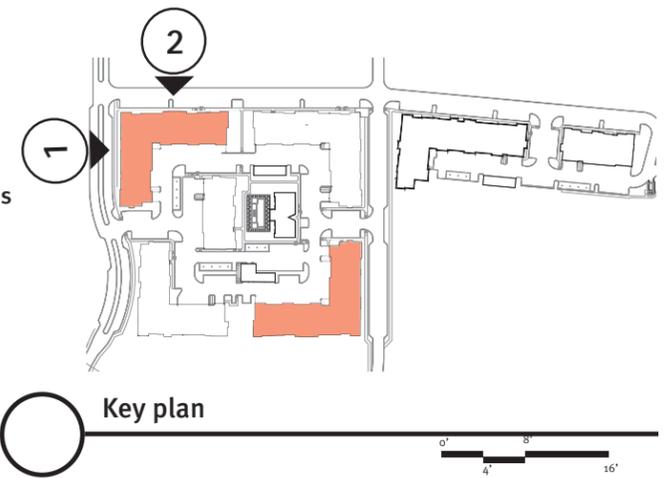
Note: Total Material percentage does not include glazing.

Material Percentages : West Elevation Bldg Type II		
Material	Percentage	Total
Brick	56%	56%
Cementitious Siding	28%	
Cementitious Panel	16%	44%
Total (%)	100%	100%
Glazing (%)		25.23%

Note: Total Material percentage does not include glazing.

**MATERIAL LEGEND**

- 1** 4" Cementitious Siding
- 2** 4" and 8" Alternating Cementitious Siding
- 3** Cementitious Panel - Rainscreen Installation with Reveal Channels
- 4** Brick Masonry 1
- 5** Brick Masonry 2
- 6** Tube Steel with Pickets and 3"x3" Mesh Infill
- 7** Metal Cladded Balcony
- 8** Metal Sunshade with Tiebacks
- 9** Storefront
- 10** Garage
- 11** Wood Truss Awning with Cementitious Fascia and Soffit
- 12** Composition Shingle Roofing
- 13** Vinyl Windows ( Color: Clay)
- 14** Metal Coping
- 15** Downspouts





02 Building Type II - Conceptual Elevation  
Scale 1/8" = 1' - 0"

Material Percentages : East Elevation Bldg Type II			
Material	Percentage	Total	
Brick	10%	10%	Masonry
Cementitious Siding	80%		
Cementitious Panel	10%	90%	Non-Masonry
Total (%)	100%	100%	

Material Percentages : South Elevation Bldg Type II			
Material	Percentage	Total	
Brick	11%	11%	Masonry
Cementitious Siding	75%		
Cementitious Panel	14%	89%	Non-Masonry
Total (%)	100%	100%	

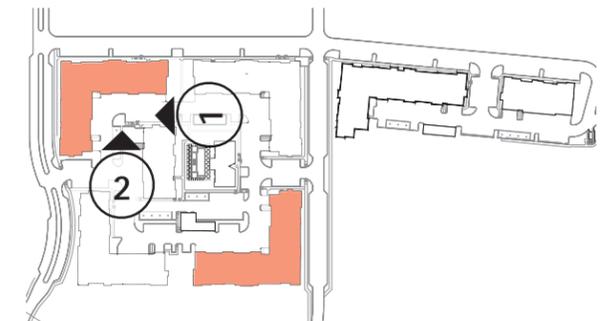
MATERIAL LEGEND

- 1 4" Cementitious Siding
- 2 4" and 8" Alternating Cementitious Siding
- 3 Cementitious Panel - Rainscreen Installation with Reveal Channels
- 4 Brick Masonry 1
- 5 Brick Masonry 2
- 6 Tube Steel with Pickets and 3"x3" Mesh Infill
- 7 Metal Cladded Balcony
- 8 Metal Sunshade with Tiebacks
- 9 Storefront
- 10 Garage
- 11 Wood Truss Awning with Cementitious Fascia and Soffit
- 12 Composition Shingle Roofing
- 13 Vinyl Windows ( Color: Clay)
- 14 Metal Coping
- 15 Downspouts



01 Building Type II - Conceptual Elevation  
Scale 1/8" = 1' - 0"

ATTACHMENT 9 MULTIFAMILY SUBDISTRICT 2 (NRP) ELEVATIONS

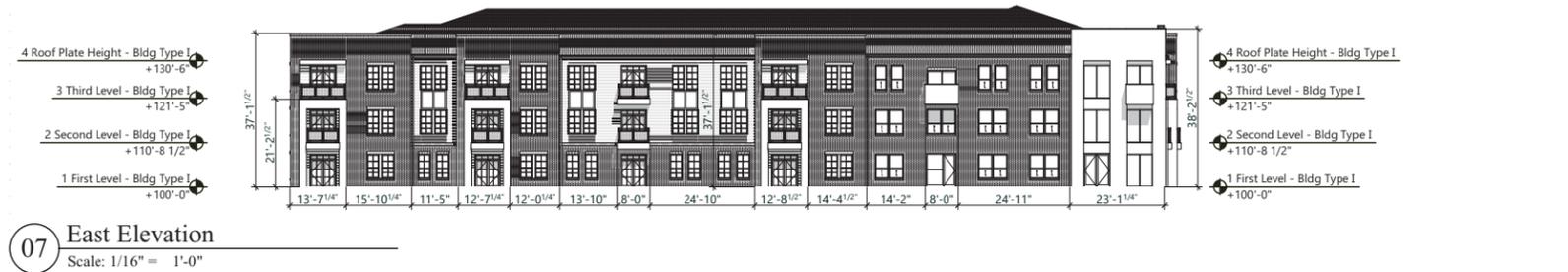


Key plan

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 Registration Number:  
 23379

## The Village at Lewisville Lewisville, Texas



### ATTACHMENT 9 MULTIFAMILY SUBDISTRICT 2 (NRP) ELEVATIONS

NRP Group

Project Number: 2018035  
 Drawn By: mbrown  
 Issue for: \*\*\*\*

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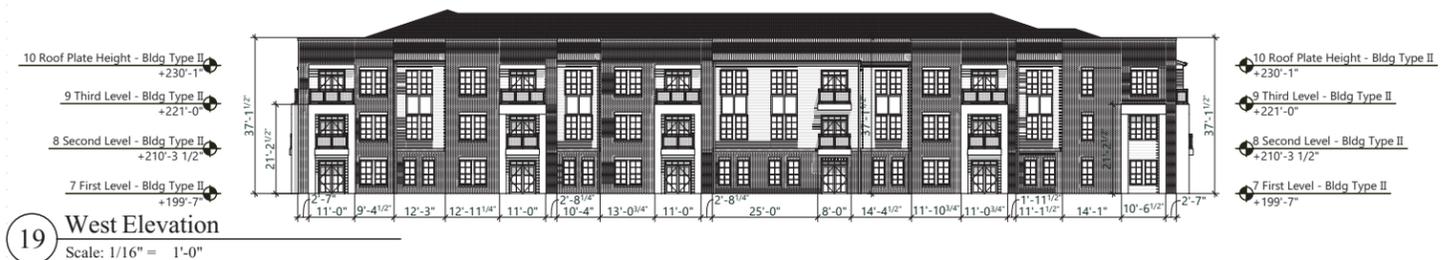
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## The Village at Lewisville Lewisville, Texas



### ATTACHMENT 9 MULTIFAMILY SUBDISTRICT 2 (NRP) ELEVATIONS

NRP Group

Project Number: 2018035  
 Drawn By: mbrown  
 Issue for: \*\*\*\*

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## The Village at Lewisville Lewisville, Texas

01 North Elevation  
 Scale: 1/16" = 1'-0"



- 16 Roof Plate Height - Bldg Type III  
+329'-8"
- 15 Third Level - Bldg Type III  
+320'-7"
- 14 Second Level - Bldg Type III  
+309'-10 1/2"
- 13 First Level - Bldg Type III  
+299'-2"

07 East Elevation  
 Scale: 1/16" = 1'-0"



- 16 Roof Plate Height - Bldg Type III  
+329'-8"
- 15 Third Level - Bldg Type III  
+320'-7"
- 14 Second Level - Bldg Type III  
+309'-10 1/2"
- 13 First Level - Bldg Type III  
+299'-2"

13 South Elevation  
 Scale: 1/16" = 1'-0"



- 16 Roof Plate Height - Bldg Type III  
+329'-8"
- 15 Third Level - Bldg Type III  
+320'-7"
- 14 Second Level - Bldg Type III  
+309'-10 1/2"
- 13 First Level - Bldg Type III  
+299'-2"

19 West Elevation  
 Scale: 1/16" = 1'-0"



- 16 Roof Plate Height - Bldg Type III  
+329'-8"
- 15 Third Level - Bldg Type III  
+320'-7"
- 14 Second Level - Bldg Type III  
+309'-10 1/2"
- 13 First Level - Bldg Type III  
+299'-2"

### ATTACHMENT 9 MULTIFAMILY SUBDISTRICT 2 (NRP) ELEVATIONS

NRP Group

Project Number: 2018035  
 Drawn By: mbrown  
 Issue for: \*\*\*\*

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Cementitious Panel	26%
Note: Total Material per cent	
Material Percentages :	
Brick	55%
Cementitious Siding	26%
Cementitious Panel	19%
Note: Total Material per cent	
Material Percentages :	
Brick	12%
Cementitious Panel	13%

## ATTACHMENT 9 MULTIFAMILY SUBDISTRICT 2 (NRP) ELEVATIONS

NRP Group

Project Number: 2018035  
 Drawn By: mbrown  
 Issue for: \*\*\*\*\*

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Carl Malcolm

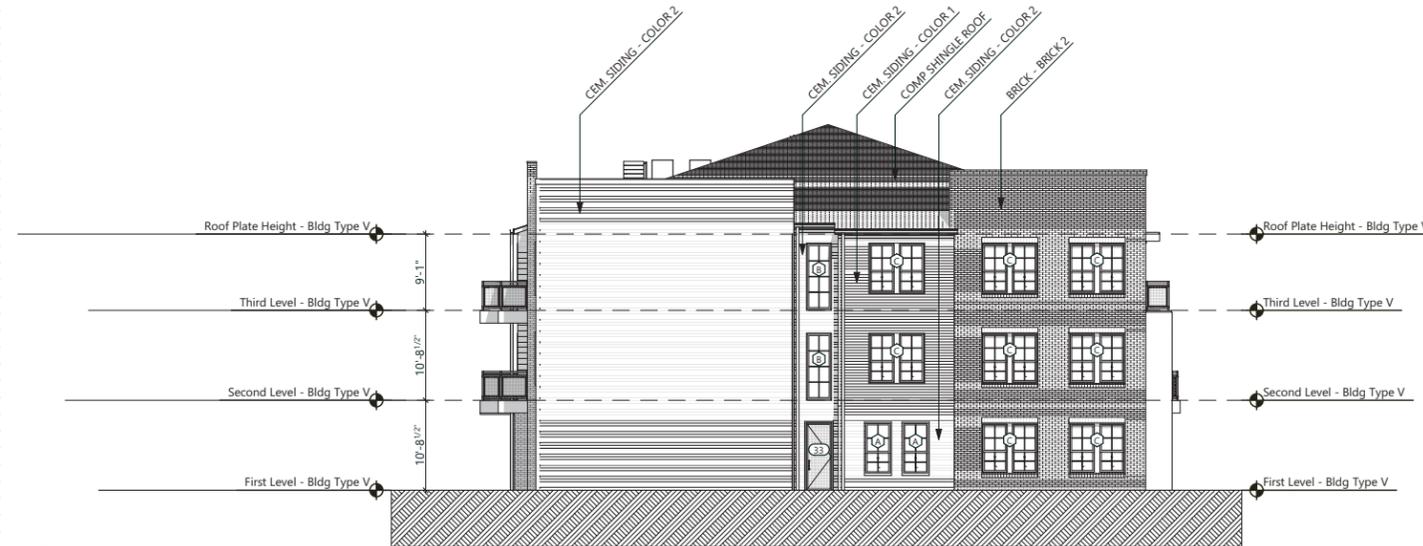
Registered Architect of the State of Texas  
 Registration Number: 233779

Cementitious Panel	20%	60%	No
Note: Total Material percentage does not include glazing.			

Material Percentages - East Elevation Bldg Type V			
Brick	28%	28%	Non-Masonry Masonry
Cementitious Panel	0%	72%	



**07 North Elevation**  
 Scale: 1/8" = 1'-0"



**19 East Elevation**  
 Scale: 1/8" = 1'-0"

**ATTACHMENT 9 MULTIFAMILY SUBDISTRICT 2 (NRP) ELEVATIONS**

NRP Group

Project Number: 2018035  
 Drawn By: mbrown  
 Issue for: **###**

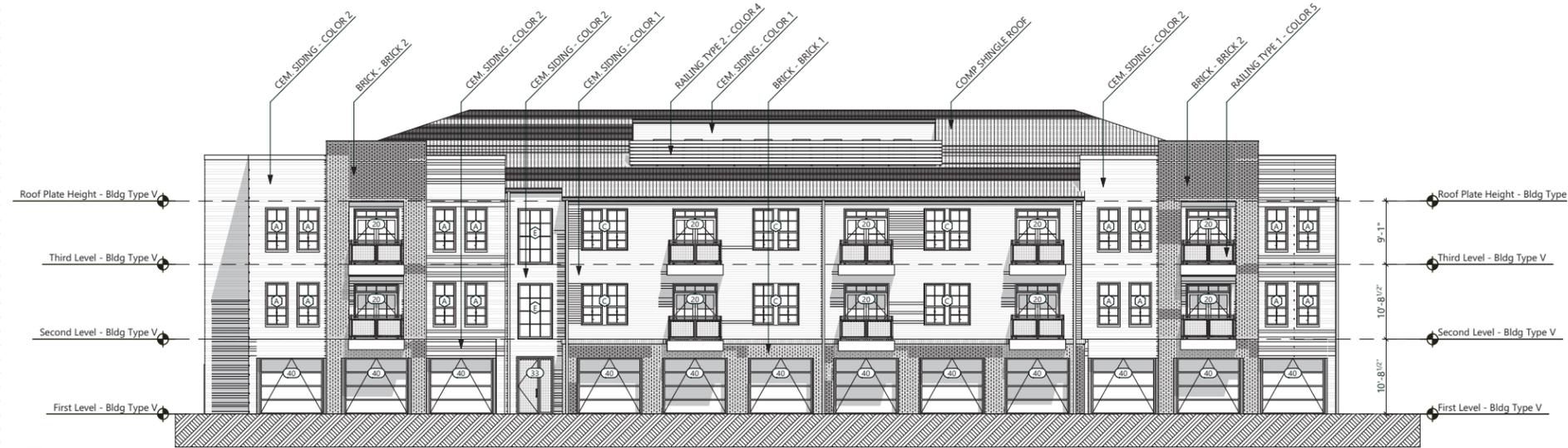
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Material Percentages : West Elevation Bldg Type V			
Brick	29%	29%	Masonry
Cementitious Siding	71%		Non-Masonry
Cementitious Panel	0%	71%	



**07 South Elevation**  
 Scale: 1/8" = 1'-0"



**19 West Elevation**  
 Scale: 1/8" = 1'-0"

**The Village at Lewisville**  
 Lewisville, Texas

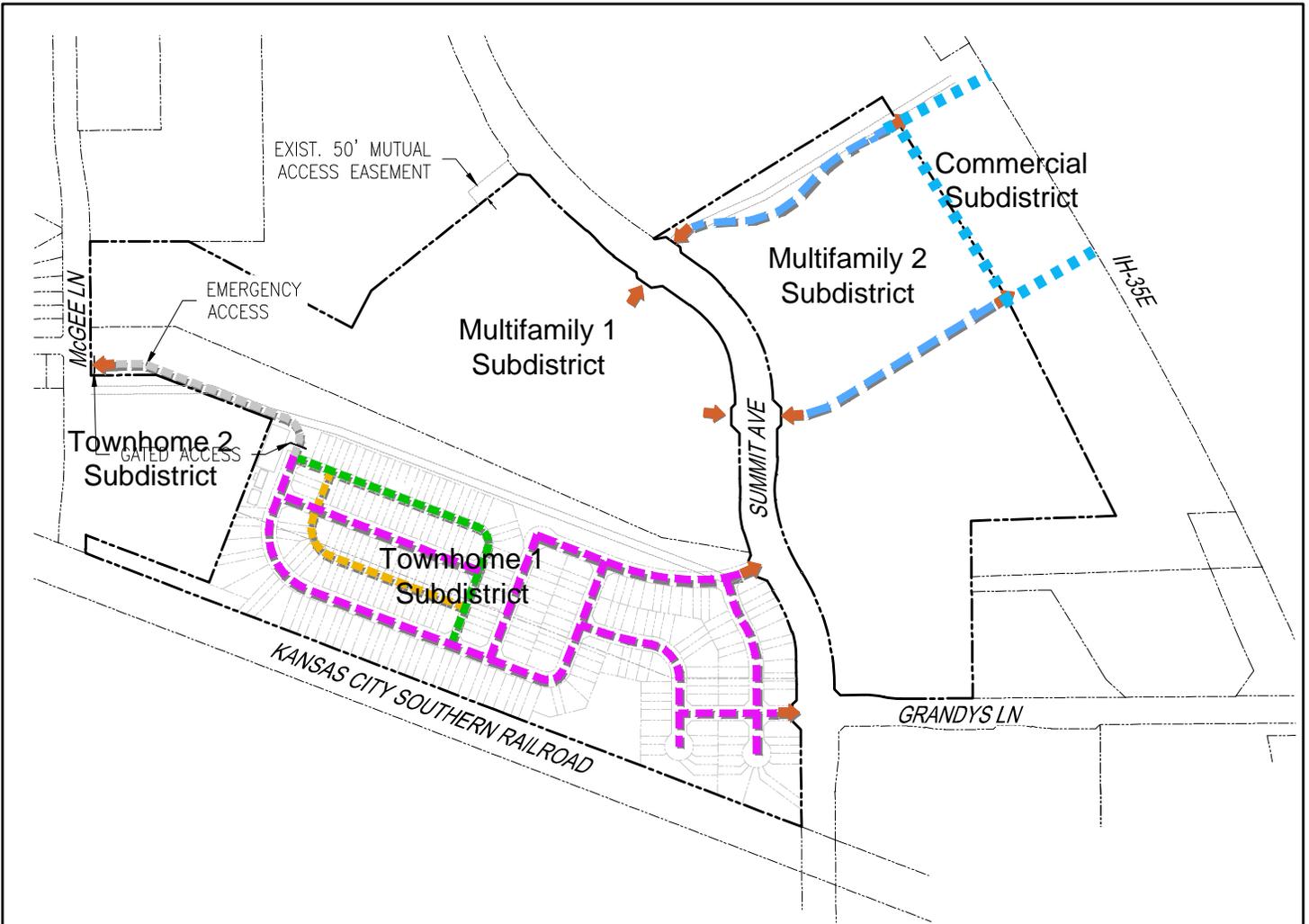
**ATTACHMENT 9 MULTIFAMILY SUBDISTRICT 2 (NRP) ELEVATIONS**

NRP Group

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 Issue for: \*\*\*\*\*

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SCALE: 1" = 500'

**LEGEND**

-  COMMERCIAL STREET
-  RESIDENTIAL STREET (R1)
-  STANDARD ALLEY (A1)
-  MODIFIED ALLEY (A2)
-  ACCESS POINT

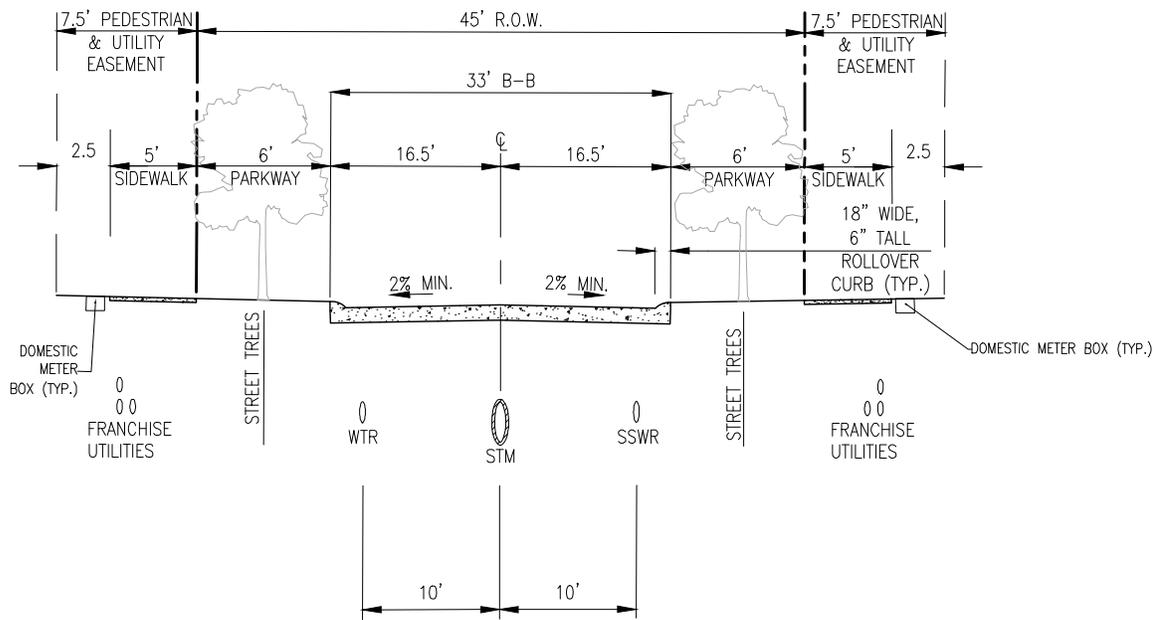
**NOTES:**

1. COMMERCIAL STREETS MAY BE PRIVATE STREETS. PRIVATE STREETS SHALL BE MAINTAINED BY THE PROPERTY OWNER, INCLUDING IRRIGATION SYSTEMS, LANDSCAPING, SIDEWALKS, CURB RAMPS, TRAFFIC SIGNS, AND STREET LIGHTS, NOT WITHSTANDING THE FOLLOWING: THE CITY SHALL MAINTAIN AND OPERATE ANY PUBLIC WATER, WASTEWATER, AND STORM WATER INFRASTRUCTURE. THE PROPERTY OWNER IS RESPONSIBLE TO REPAIR CONCRETE DAMAGED BY THE CITY OF LEWISVILLE OR THE CITY OF LEWISVILLE'S CONTRACTOR DUE TO MAINTENANCE OR REPAIRS TO THE CITY-MAINTAINED STORM SEWER, SANITARY SEWER, OR WATER LINE.
2. COMMERCIAL STREETS REQUIRE STREET TREES AT APPROXIMATELY 35 FEET ON CENTER AND MAY BE PLANTED IN A CONTINUOUS PARKWAY NOT LESS THAN 4 FEET IN WIDTH, OR PLANTED IN TREE WELLS NO SMALLER THAN 4 FEET WIDE BY 6 FEET LONG.

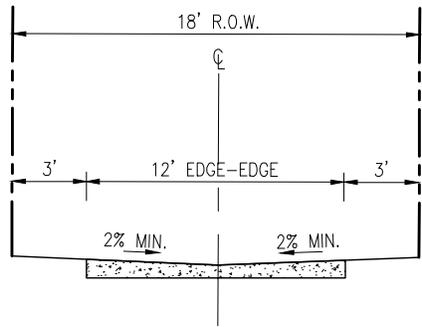


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 600 SIX FLAGS DRIVE, SUITE 500  
 ARLINGTON, TEXAS 76011 (817) 640-8535  
 TBPE FIRM: F-1191/TBPLS FIRM: 101538-00

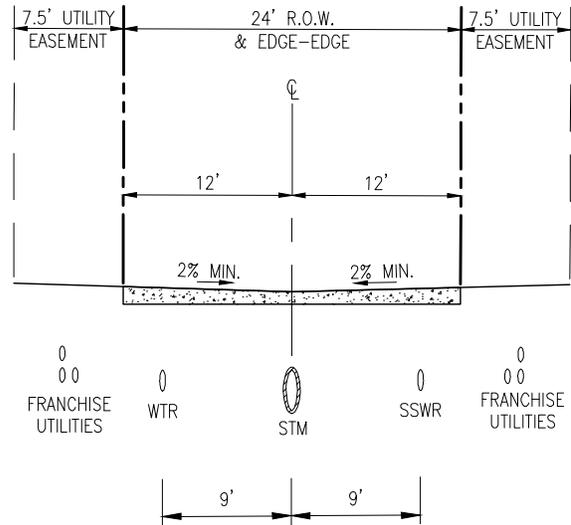
**ATTACHMENT 10 THOROUGHFARE PLAN**



**R1 RESIDENTIAL STREET (45' PUBLIC RIGHT-OF-WAY)**  
**TYPICAL SECTION**  
 N.T.S.



**A2 STANDARD ALLEY (24' RIGHT-OF-WAY)**  
**TYPICAL SECTION**  
 N.T.S.

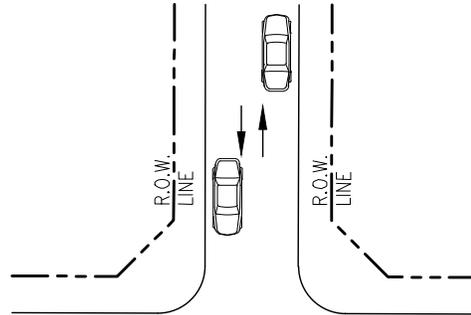


**A1 MODIFIED ALLEY (18' RIGHT-OF-WAY)**  
**TYPICAL SECTION**  
 N.T.S.



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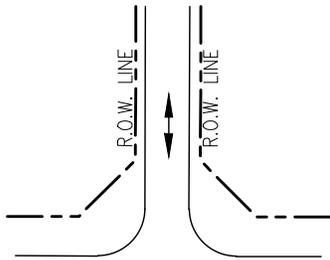
**ATTACHMENT 11 STREET SECTIONS**



**R1 - RESIDENTIAL STREET**

N.T.S.

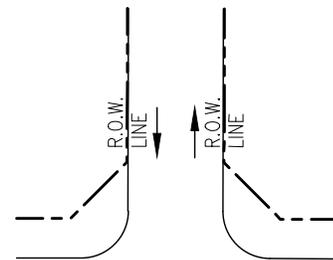
R1	
WIDTH B-B	33'
ANGLED PARKING	N
PARALLEL PARKING	N
INTERMITTENT PARKING	YES
MEDIAN	N



**A1 - STANDARD ALLEY**

N.T.S.

A1	
WIDTH B-B	12'
ANGLED PARKING	N
PARALLEL PARKING	N
INTERMITTENT PARKING	N
MEDIAN	N



**A2 - MODIFIED ALLEY**

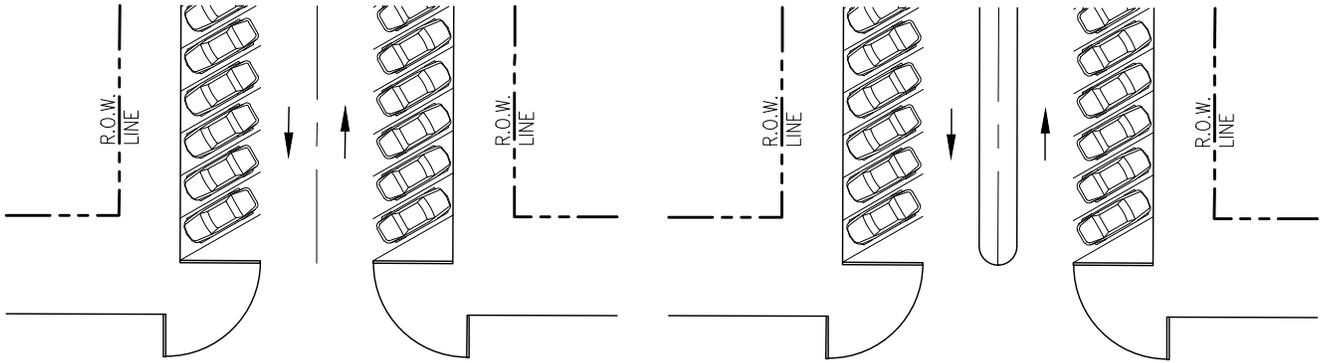
N.T.S.

A2	
WIDTH B-B	24'
ANGLED PARKING	N
PARALLEL PARKING	N
INTERMITTENT PARKING	N
MEDIAN	N



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 ARLINGTON, TEXAS 76011 (817) 640-8535  
 TBPE FIRM: F-1191/TBPLS FIRM: 101538-00

**ATTACHMENT 11 STREET SECTIONS**



**C1 - COMMERCIAL STREET**

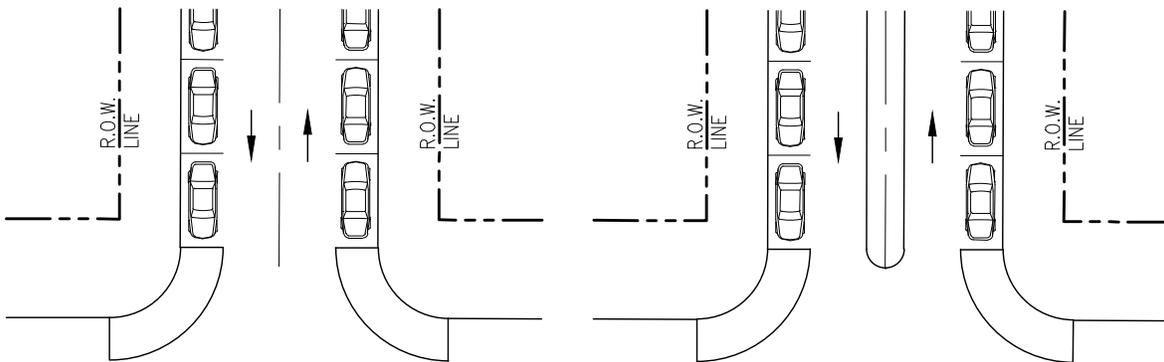
N.T.S.

C1	
WIDTH B-B	60'
ANGLED PARKING	18'
PARALLEL PARKING	N
INTERMITTENT PARKING	N
MEDIAN	N

**C2 - COMMERCIAL STREET**

N.T.S.

C2	
WIDTH B-B	60'+
ANGLED PARKING	18'
PARALLEL PARKING	N
INTERMITTENT PARKING	N
MEDIAN	YES



**C3 - COMMERCIAL STREET**

N.T.S.

C3	
WIDTH B-B	40'
ANGLED PARKING	N
PARALLEL PARKING	8'
INTERMITTENT PARKING	N
MEDIAN	N

**C4 - COMMERCIAL STREET**

N.T.S.

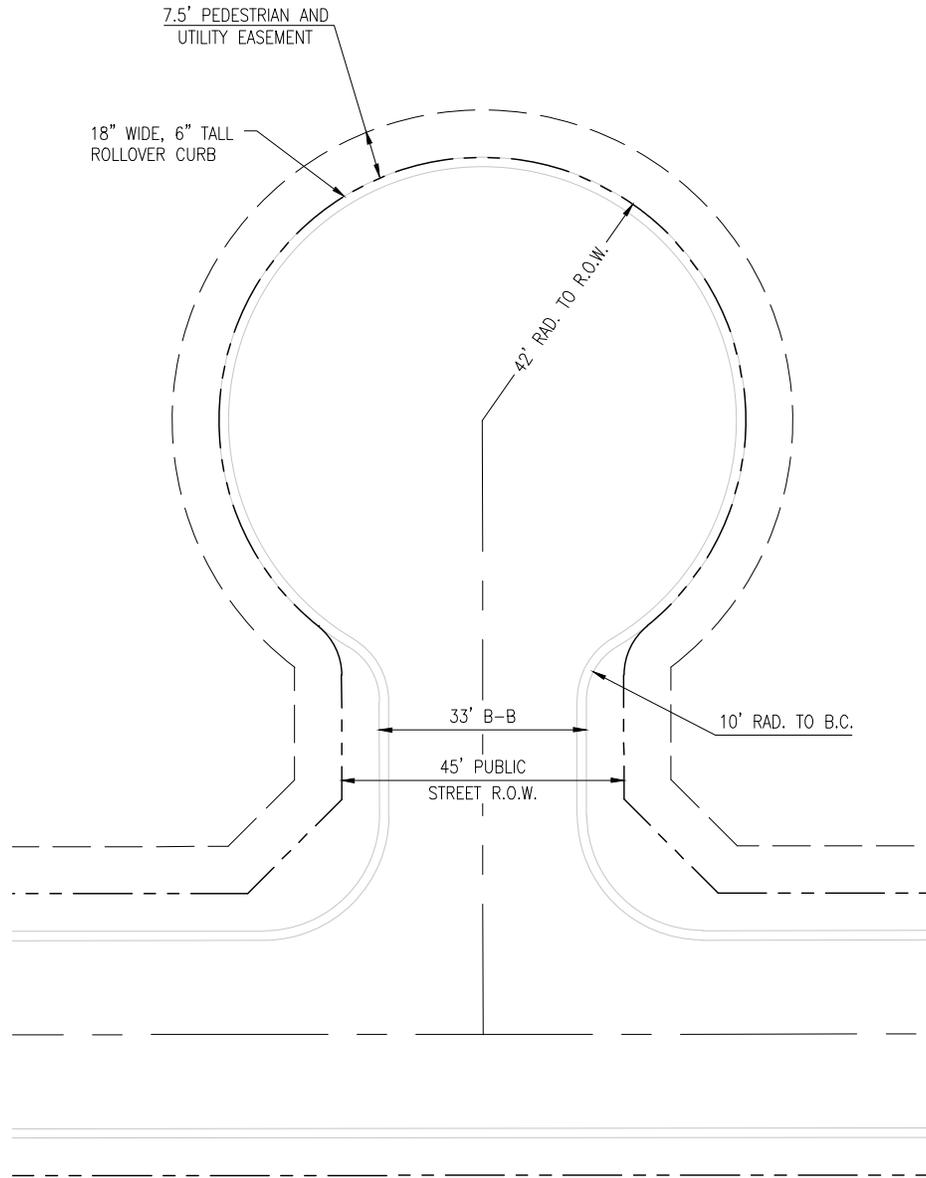
C4	
WIDTH B-B	40'+
ANGLED PARKING	N
PARALLEL PARKING	8'
INTERMITTENT PARKING	N
MEDIAN	YES

The commercial street section used from the four options above shall be dictated by the street sections shown on the concept plan of each subdistrict.



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**ATTACHMENT 11 STREET SECTIONS**



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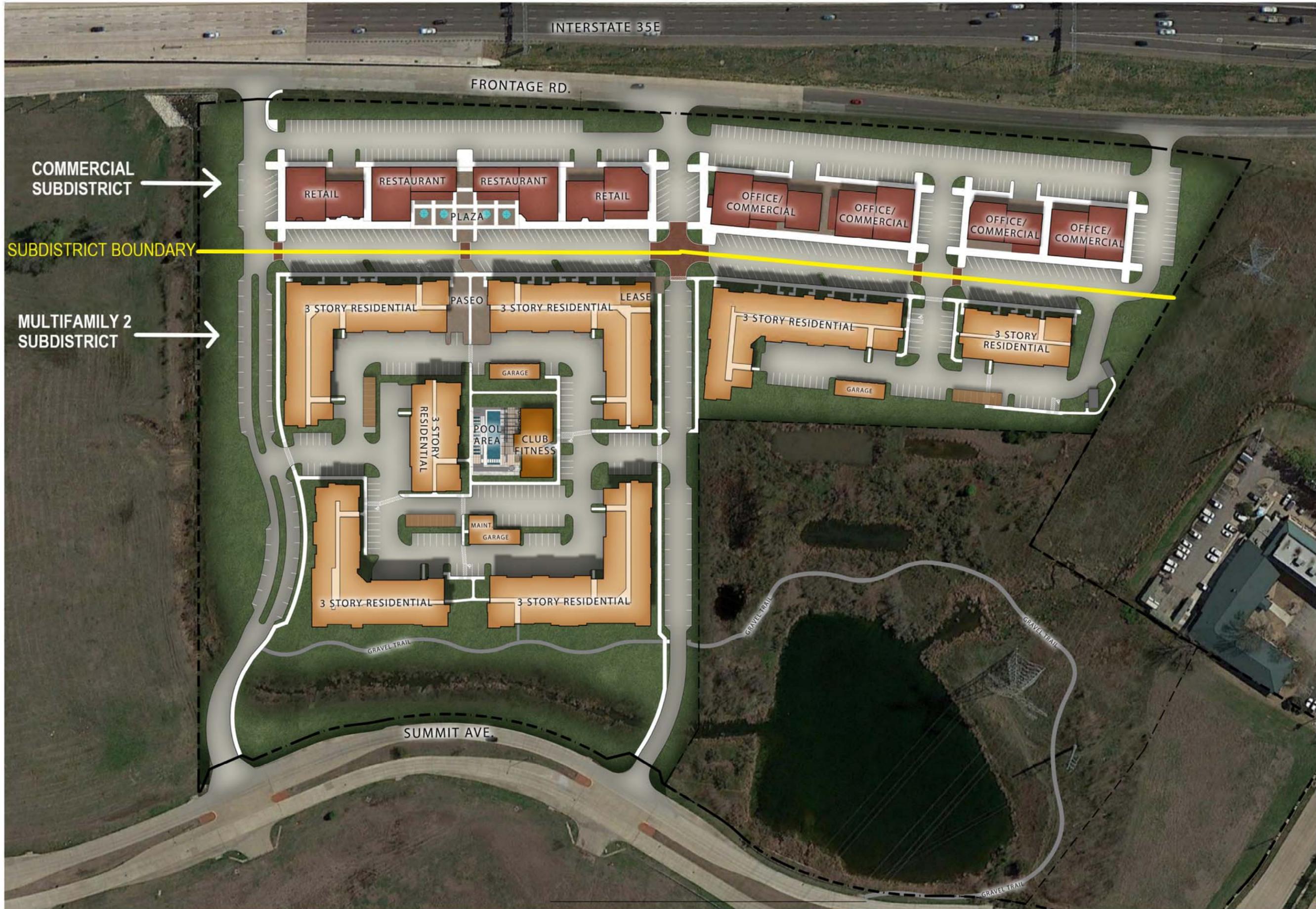
## ATTACHMENT 12 TOWNHOME 1 SUBDISTRICT CUL-DE-SAC LAYOUT



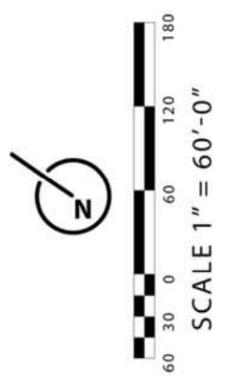
ATTACHMENT 14 COMMERCIAL SUBDISTRICT CONCEPT PLAN



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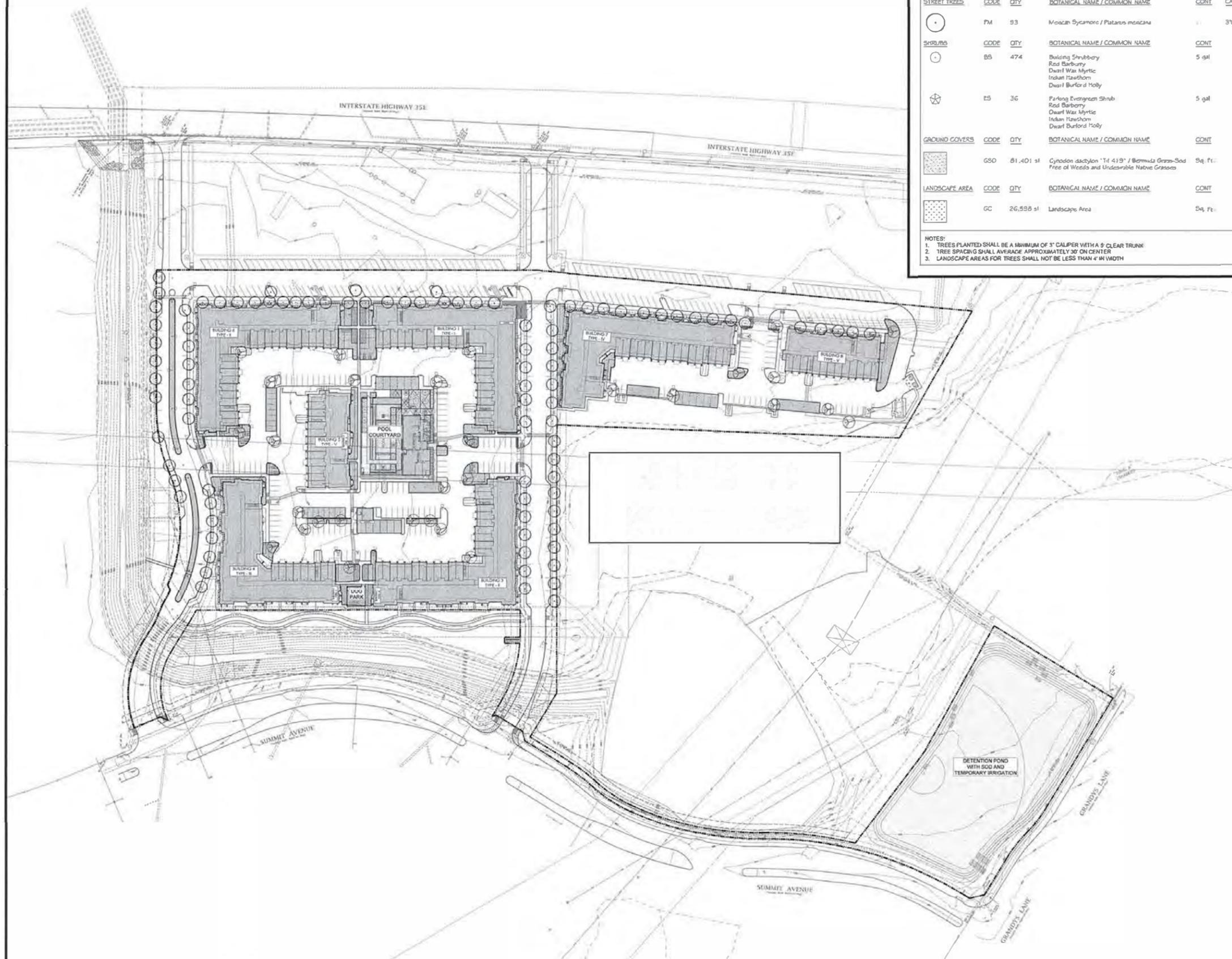
The Village at Lewisville  
Lewisville, Texas  
Illustrative Site Plan







# ATTACHMENT 16 Multifamily 2 Subdistrict Landscape Plan



### PLANT SCHEDULE

PARKING TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT.	CAL.
	UC	30	Cedar Elm / Ulmus crataegifolia		3" Cal.
STREET TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT.	CAL.
	PM	93	Mexican Sycamore / Platanus mexicana		3" Cal.
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT.	
	BS	474	Building Shrubbery Red Barberry Dwarf Wax Myrtle Indian Hawthorn Dwarf Burford Holly	5 gal	
	ES	36	Parlor Evergreen Shrub Red Barberry Dwarf Wax Myrtle Indian Hawthorn Dwarf Burford Holly	5 gal	
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT.	
	GSO	81,401 sf	Cynodon dactylon 'T4 419' / Bermuda Grass-Sod Free of Weeds and Undesirable Native Grasses	9q. ft.	
LANDSCAPE AREA	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT.	
	GC	26,598 sf	Landscape Area	5q. ft.	

NOTES:  
 1. TREES PLANTED SHALL BE A MINIMUM OF 3" CALIPER WITH A 9' CLEAR TRUNK  
 2. TREE SPACING SHALL AVERAGE APPROXIMATELY 30' ON CENTER  
 3. LANDSCAPE AREAS FOR TREES SHALL NOT BE LESS THAN 4' IN WIDTH

### PARKING LOT LANDSCAPING AND SCREENING (PO CODE)

LANDSCAPE ISLANDS	REQUIRED	PROVIDED
PARKING SPACES (EXCLUDES PARALLEL AND GARAGE PARKING)		292 SPACES
PARKING LOT TREES (1 PER 10 SPACES) 30 TREES		30 TREES

NOTES:  
 1. TREES ARE 56.1 PROVIDED SPACES INCLUDING PARALLEL AND GARAGE SPACES  
 2. PER P.12 OF THE VILLAGE AT LEWISVILLE PD AGREEMENT, REQUIRED PARKING LOT TREES ARE BASED ON PARKING LOT REQUIREMENTS ONLY (EXCLUDES ON-STREET PARKING AND GARAGES)

### LANDSCAPE STRIP AND STREET TREES (SEC. 6-123 City Code) & (PO CODE)

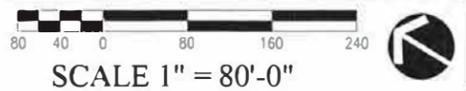
LANDSCAPE STRIP	REQUIRED	PROVIDED
LANDSCAPE STRIP AREA (MIN 10' EXCLUSIVE OF ROW)	42,222.10 SF	42,222.10 SF
STREET TREE (1 TREE EVERY 30' ON CENTER) (PO)	93 STREET TREES	93 STREET TREES

NOTES:  
 1. LANDSCAPE STRIP AREA IS AN EXCLUSIVE CITY CODE REQUIREMENT  
 2. CITY AND PO REQUIREMENTS FOR STREET TREES ARE SHOWN ABOVE, HOWEVER PO CODE REQUIREMENTS SUPERSEDE CITY CODE

### INTERIOR LANDSCAPE (SEC. 6-123 City Code)

INTERIOR LANDSCAPE	REQUIRED	PROVIDED
TOTAL PARKING AREA	NA	242,309.38 SF
LANDSCAPE AREA (10% OF TOTAL PARKING AREA)	24,231 SF	± 26,500 SF

- ### LANDSCAPE NOTES (CITY AND PD)
- CITY CODE**  
**SEC. 6-123**  
 1. A LANDSCAPED STRIP SHALL BE PROVIDED ADJACENT TO ALL PUBLIC AND PRIVATE STREETS  
 1.a. LANDSCAPED STRIP SHALL BE A MINIMUM OF 10' EXCLUSIVE OF STREET RIGHT-OF-WAY  
 1.b. SHADE TREE (2.5" CALIPER) SHALL BE PROVIDED PER EVERY 500 SQUARE FEET  
 1.c. ALL PRIVACY AND SECURITY FENCES MUST BE PLACED BEYOND THE REQUIRED LANDSCAPE STRIP  
 2. WHERE PARKING LOTS AND DRIVES ADJACENT TO THE LANDSCAPE STRIP ALONG A STREET RIGHT-OF-WAY, EVERGREEN SHRUBS MUST BE PROVIDED FOR SCREENING  
 2.a. MUST BE A MINIMUM OF 2' IN HEIGHT  
 2.b. A MINIMUM 30" TALL LANDSCAPE BERM MAY BE PROVIDED IN LIEU OF REQUIRED SHRUBS  
 2.c. IF PARKING LOT IS LOCATED A MINIMUM OF 50' FROM THE STREET RIGHT-OF-WAY LINE, NO SHRUBS OR BERM WILL BE REQUIRED  
 3. INTERIOR PARKING AREAS SHALL BE LANDSCAPED IN ADDITION TO THE REQUIRED LANDSCAPED STRIP  
 3.a. TREES MUST BE PROVIDED IN EACH PARKING LOT SPACED AT A RATIO OF ONE SHADE TREE (2.5" CALIPER) FOR EACH 15 PARKING SPACES  
 3.b. TO CALCULATE THE TOTAL PARKING AREA AND THE SUBSEQUENT PERCENTAGE OF REQUIRED INTERIOR LOT LANDSCAPING, TOTAL THE SQUARE FOOTAGE OF PARKING SPACES, PLANTING ISLANDS, CURBED AREAS AND ALL INTERIOR DRIVEWAYS AND AISLES EXCEPT THOSE WITH NO PARKING SPACES LOCATED ON EITHER SIDE  
 3.c. LANDSCAPED AREAS LOCATED OUTSIDE THE PARKING LOT MAY NOT BE USED TO MEET THE INTERIOR LANDSCAPING REQUIREMENT  
 3.d. INTERIOR LANDSCAPE AREA TO BE 10% OF TOTAL PARKING AREA (IF 50,000 SQUARE FEET AND LARGER)  
**SEC. 6-141,143,144**  
 4. A SCREENING DEVICE SHALL BE A SOLID BRICK, STONE, OR DECORATIVE BLOCK MASONRY WALL NOT LESS THAN 8' IN HEIGHT  
 4.a. CONSTRUCTION AND LOCATION DETAILS OF THE REQUIRED SCREENING DEVICES SHALL BE SHOWN AS PART OF THE ENGINEERING SITE PLAN FOR ALL MULTI-FAMILY  
 4.b. THERE SHALL BE CONSTRUCTED A STRUCTURAL SCREENING WALL OF NOT LESS THAN 8' IN HEIGHT ALONG ANY PORTION OF MULTI-FAMILY RESIDENTIAL ZONING DISTRICTS (MF-1) AND (MF-2), WHICH ADJACENS ANY SINGLE FAMILY DETACHED AND ATTACHED ZONING DISTRICT, MOBILE HOME PARK OR MOBILE HOME SUBDIVISION  
 4.c. THERE SHALL BE CONSTRUCTED A SCREENING WALL OF NOT LESS THAN 8' IN HEIGHT ALONG ANY PORTION OF AN OFFICE, RETAIL, OR INSTITUTIONAL (SCHOOLS AND CHURCHES, ETC.) USE AND A SCREENING WALL OF NOT LESS THAN 8' IN HEIGHT ALONG ANY PORTION OF INDUSTRIAL OR WAREHOUSE USE, WHICH ADJACENS ANY PORTION OF A MULTI-FAMILY RESIDENTIAL USE  
**SEC. 17.5-4 (09)**  
 5. STREET FURNISHINGS SHALL BE REQUIRED WITHIN THE AMENITY ZONE ALONG EACH BLOCK FACE OF A PRIMARY PEDESTRIAN STREET/PRIVATE VEHICULAR ROUTE.  
 5.a. TRASH RECEPTACLES SHALL BE APPROXIMATELY 25 INCHES IN DIAMETER AND 34 INCHES HIGH, WITH AN APPROXIMATE 28-GALLON CAPACITY, SHALL BE PLACED AT A FREQUENCY OF TWO PER EVERY 500 LINEAR FEET OF BLOCK FRONTAGE  
 5.b. SHALL PROVIDE AT LEAST ONE BIKE RACK ACCOMMODATING A MINIMUM OF SIX BICYCLES PER 400 LINEAR FEET OF BLOCK FACE  
 5.c. PLANTERS MAY BE CIRCULAR (24" TO 42" IN DIAMETER). A MINIMUM OF TWO PLANTERS SHALL BE PLACED FOR EVERY 200 LINEAR FEET OF BLOCK FRONTAGE  
 5.d. BENCHES SHALL BE PLACED AT A FREQUENCY OF ONE PER EVERY 40 LINEAR FEET OF BLOCK FRONTAGE
- THE VILLAGE AT LEWISVILLE PD CODE**  
**PARK & OPEN SPACE**  
 1. STREET TREES SHALL BE A MINIMUM OF 3" CALIPER WITH A 9' CLEAR TRUNK  
 1.a. TREE SPACING SHALL AVERAGE APPROXIMATELY 30' ON CENTER  
 1.b. TREES TO BE A MINIMUM OF 2' FROM BACK OF CURB AND IN A LANDSCAPE AREA NOT LESS THAN 4' IN WIDTH  
 2. LANDSCAPE REQUIREMENTS FOR SURFACE PARKING LOTS  
 A SURFACE PARKING LOT SHALL HAVE, WITHIN THE LOT AREA, A MINIMUM OF 1 TREE, 3" CALIPER, FOR EVERY 10 PARKING SPACES PROVIDED IN THE LOT  
 3. IN LIEU OF PROVIDING MITIGATION FOR TREES REMOVED, THE DEVELOPMENT WILL PROVIDE STREET TREES ON ALL NEW STREETS WITHIN THE DEVELOPMENT IN CONFORMANCE WITH FRONTAGE REQUIREMENTS HEREIN  
**LOT STANDARDS**  
 1. LT.5.6.7 LOTS: SHALL PROVIDE SHRUBBERY AVERAGING APPROXIMATELY 3' ON CENTER, BETWEEN THE BUILDING AND THE PUBLIC SIDEWALK
- CITY OF LEWISVILLE TRAILS MASTER PLAN**  
**REST AREA DESIGN STANDARDS**  
 1. REST AREAS SHOULD BE PLACED EVERY HALF TO ONE MILE  
 2. DESIGN  
 2.a. 8' BENCH ON BENCH PAD  
 2.b. 4' x 4' ADA SPACE



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Revision Block	No.	By	Date	Comments

DATE: 4-25-2019  
 PROJ. NO.: 2107  
 FILE NAME: 2107 OCP 5  
 XREF: XREF

**THE VILLAGE AT LEWISVILLE**  
 LEWISVILLE, TEXAS  
**OVERALL PLAN**



LP-1