

**AGENDA  
PLANNING AND ZONING COMMISSION  
FEBRUARY 18, 2020**

**COUNCIL CHAMBERS  
151 WEST CHURCH STREET  
LEWISVILLE, TEXAS**

**REGULAR SESSION 6:30 P.M.**

**1. CALL TO ORDER AND ANNOUNCE THAT A QUORUM IS PRESENT.**

**2. APPROVE MINUTES OF THE JANUARY 21, 2020 MEETING.**

**3. CONSENT AGENDA – PLATS**

(The following Plats on the Consent Agenda are submitted for approval with no variance requests, or the variances have previously been approved by the City Council. Although individual plats may be discussed or removed from the Consent Agenda list for separate consideration at the request of a citizen or Commission Member, they will otherwise be considered and acted upon with one motion.)

- A. Final Plat of Larry Ho Addition, Lots 1A, 1B, 2A and 2B, Block A; on 0.157 Acres out of the J.W. King Survey, Abstract Number 696; Zoned Old Town Mixed Use 2 District (OTMU2); Located on the Northeast Corner of Milton Street and Samuel Street, Being a Replat of Larry Ho Addition, Lots 1 and 2, Block A.

**4. REGULAR HEARING – PLATS**

- A. Final Plat of First Park 121 Addition, Lot 6, Block A; on 33.924 Acres out of the Samuel M. Hayden Survey, Abstract Number 537; Zoned Light Industrial District (LI); Located on the South Side of Midway Road, Approximately 209 Feet East of Holfords Prairie Road, Being a Replat of Coyote Theater Addition, Lot 1, Block A.
- B. Final Plat of Wyndale Meadows Addition, Phase 1, Lots 2R1 & 3, Block N; on 3.056 Acres out of the B.B.B. & C.R.R. Survey, Abstract Number 180; Zoned General Business District (GB); Located on the Northwest Corner of Windhaven Parkway and Parker Road (FM 544), Being a Replat of Wyndale Meadows Addition, Phase 1, Lots 1R & 2R, Block N.

**5. PUBLIC HEARING – ZONING & SPECIAL USE PERMITS**

- A. **Public Hearing:** Consideration of a Zone Change Request from Planned Development – Mixed Use District (PD-MU) to Planned Development – Mixed Use District (PD-MU) to Amend the Existing Planned Development; on an Approximately 90.588-Acre Tract of Land out of the Stephen Riggs Survey, Abstract No. 1088 and the WM. Brown Survey, Abstract No. 63; Located on Both the East and West Sides of Summit Avenue North of the Kansas City Southern Railroad and Grandy’s Lane with Frontage on the West Side of I-35E (North Stemmons Freeway) and the East Side of McGee Lane, as Requested by the City of Lewisville, the Applicant. (Case No. 19-11-4-PZ)

- B. **Public Hearing:** Consideration of an Amendment to the Lewisville City Codes Chapter 17, Zoning, Section 17-26, “PD” Planned Development District, to Remove the Minimum Size Requirement for Planned Development Districts.

## 6. ADJOURNMENT

### NOTICE OF ASSISTANCE AT THE PUBLIC MEETINGS

The City will provide appropriate auxiliary aids and services, including sign language interpreters and assisted listening devices, whenever necessary to ensure effective communication with members of the public who have hearing, sight or speech impairments, unless doing so would result in a fundamental alteration of its programs or an undue financial burden. A person who requires an accommodation or auxiliary aid or service to participate in a City program, service or activity, should contact the sponsoring Department, or the Human Resource Department at 972-219-3450 or by Fax at 972-219-5005 as far in advance as possible but no later than 48 hours before the scheduled event.

**MINUTES**  
**PLANNING AND ZONING COMMISSION**  
**JANUARY 21, 2020**

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**Item 1:**

The Lewisville Planning and Zoning Commission meeting was called to order at 6:30 pm by Vice-Chair MaryEllen Miksa.

Members present: John Lyng, MaryEllen Miksa, Alvin Turner, Karen Locke and Erum Ali. Members William Meredith and James Davis were absent.

Staff members present: Michele Berry, Planning Manager; Jonathan Beckham, Planner.

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**Item 2:**

The second item on the agenda was to approve the minutes from the January 7, 2020, meeting. *A motion was made by Karen Locke to approve the minutes as presented, seconded by Erum Ali. The motion passed unanimously (5-0).*

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**Item 3:**

Regular Hearing Plats were next on the agenda. There was one item for consideration:

- A. **Regular Hearing:** Final Plat of Thrive Nature Preserve Addition; on 21.511 Acres out of the H. Turner Survey, Abstract Number 1249; Zoned Agricultural Open Space District (AO); Located on the Southeast Corner of South Valley Parkway and West Corporate Drive, a Portion Being a Replat of a Portion of Valley Vista Estates – 3, Tract A.

Staff gave a brief overview of the proposed final plat with a recommendation of disapproval due to deficiencies and a recommendation to delegate to staff the ability to accept and approve the plat once the listed deficiencies are corrected. Once the deficiencies listed are corrected the approved plat will be brought to the Chairman for signature. *A motion was made by Karen Locke to disapprove the final plat and grant staff the ability to accept and approve the final plat. The motion was seconded by John Lyng. The motion passed unanimously (5-0).*

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**Item 4:**

Public Hearing – Zoning & Special Use Permits were next on the agenda. There was one item for consideration:

- A. **Public Hearing:** Consideration of a Special Use Permit for a Hotel with Rooms Containing a Cooktop or Oven; on Approximately 2.50 Acres, Legally Described as Lot 10R-1, Block F, Vista Ridge Addition, Zoned Light Industrial District (LI), Located on the Northeast Corner of Rockbrook Drive and East State Highway 121 Bypass; as Requested by Kiewit

Kam, Triangle Engineering, on behalf of Nortex Hotel Group LLC, the Property Owner.  
(Case No. 19-12-10-SUP).

Staff gave a brief overview of the proposed special use permit request and recommended approval. Staff indicated that the applicant, property owner, and architect were present and available for questions. Member Karen Locke asked for more clarification regarding the two brands occupying the hotel. The architect, Sabrina Bala, explained that the two brands would have shared spaces such as the elevators but operate in different wings of the hotel. Vice-Chair MaryEllen Miksa then opened the public hearing. With no one coming forward to speak the public hearing was then closed. *A motion was made by John Lyng to recommend approval of the special use permit request as presented. The motion was seconded by Alvin Turner. The motion passed unanimously (5-0).* Staff indicated that the item would appear before the Lewisville City Council on Monday, February 17, 2020 for a second public hearing and final decision.

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There being no other business to discuss, the meeting was adjourned at 6:40 p.m.

Respectfully Submitted,

Approved,

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Michele Berry, AICP  
Planning Manager

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MaryEllen Miksa, Vice-Chair  
Planning and Zoning Commission

## **STAFF REPORT**

**Date:** February 18, 2020  
**To:** Planning and Zoning Commission  
**From:** Jonathan Beckham, Planner  
**Subject:** Consent Agenda – Plat

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There is one plat on the consent agenda to be considered for approval. No variances are being requested.

- A. Final Plat of Larry Ho Addition, Lots 1A, 1B, 2A and 2B, Block A; on 0.157 Acres out of the J.W. King Survey, Abstract Number 696; Zoned Old Town Mixed Use 2 District (OTMU2); Located on the Northeast Corner of Milton Street and Samuel Street, Being a Replat of Larry Ho Addition, Lots 1 and 2, Block A.

**Recommendation:** That the Planning and Zoning Commission approve the plat as presented.



## MEMORANDUM

**TO:** Planning and Zoning Commission  
**FROM:** Jonathan Beckham, Planner  
**DATE:** February 18, 2020  
**SUBJECT:** **Regular Hearing: Final Plat of First Park 121 Addition, Lot 6, Block A; on 33.924 Acres out of the Samuel M. Hayden Survey, Abstract Number 537; Zoned Light Industrial District (LI); Located on the South Side of Midway Road, Approximately 209 Feet East of Holfords Prairie Road, Being a Replat of Coyote Theater Addition, Lot 1, Block A.**

### **BACKGROUND:**

On September 16, 2019 City Council approve an amendment to the City's Land Development Regulations regarding plats and replats to conform to new legislative procedures. House Bill 3167 specifies that the Planning and Zoning Commission (P&Z) or the official responsible for the approval of plat, shall approve, approve with conditions, or disapprove a plat application within 30 days after the date the plat was filed with the City. This bill went into effect on September 1, 2019.

### **ANALYSIS:**

House Bill 3167 requires a written list of reasons for disapproval to be provided for plats that are disapproved. Each reason specified in the written statement must be directly related to the requirements of the land development regulations and include a citation to the applicable law, including statute or municipal ordinance, that is the basis for the reason for disapproval.

The final plat of First Park 121 Addition was submitted on January 21, 2020 and has been reviewed by staff. Staff recommends disapproval of the above plat with following reasons based on Chapters 6 of the Lewisville Code of Ordinances.

#### **Section 6-73 (c) Final Plat (General Development Ordinance (GDO))**

- (14) Minimum right-of-way (ROW) shall be noted and ROW dedication provided if needed per the Thoroughfare Plan
- (15) Easements which impact development of the lot.

The applicant may resubmit a revised final plat reflecting discrepancies cited by Staff comments. Staff shall then determine within 15 days if the revised application and response adequately addresses each reason for the disapproval.

### **RECOMMENDATION:**

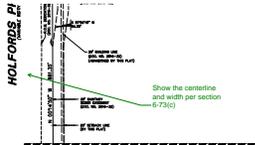
Staff recommends that the Planning and Zoning Commission disapprove the final plat of First Park 121 Addition, Lot 6, Block A, for the deficiencies enumerated above and delegate to staff the ability to accept and approve the plat once the listed deficiencies are corrected. The approved plat will be brought to the chairman for signature.



**LEWISVILLE**  
Deep Roots. Broad Wings. Bright Future.

# First Park 121 Plat 2nd - Markup Summary

DRussell (2)



**Author:** DRussell

Show the centerline and width per section 6-73(c)

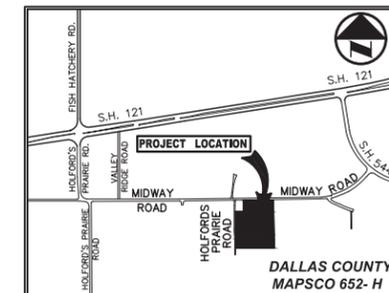
**Author:** DRussell

Please contact the engineering department for additional easements that might be required for the Holdfords Prairie Roadway project.



Please contact the engineering department for additional easements that might be required for the Holdfords Prairie Roadway project.

**MIDWAY ROAD**  
(VARIABLE WIDTH RIGHT-OF-WAY)  
(BY USE AND OCCUPATION)



**VICINITY MAP**  
1"=1,000'

**LEGEND**

- PROPERTY LINE
- - - EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- LIMITS OF FLOOD ZONE
- IRS 5/8-INCH IRON ROD W/ "HALF" W/ "PACHECO KOCH" CAP SET
- (C.M.) CONTROLLING MONUMENT

**NOTES**

- Bearing system for this survey is based on the State Plane Coordinate System, North American Datum of 1983 (2011), Texas North Central Zone 4202. Distances reported have been adjusted to surface by applying the Dallas County TxDot combination factor of 1.000150630.
- Subject property is shown on the National Flood Insurance Program Flood Insurance Rate Map for Denton County, Texas and Incorporated Areas, Map No. 48121C0570 G, Community-Panel No. 480195 0570 G, Revised Date: April, 18 2011. All of the subject property is shown to be located in Zone "X" on said map. The location of the said floodzones is based on said map, is approximate and is not located on the ground. Relevant zones are defined on said map as follows:  
  
Zone "X" - Other Areas: Areas determined to be outside the 0.2% annual chance floodplain.  
  
Zone "A" - Special Flood Hazard Areas (SFHAs) subject to inundation by the 1% annual chance flood: Base flood elevations determined.

**POINT OF BEGINNING**  
1/2-INCH IRON ROD W/ "HALF" STAMPED FOUND (C.M.)

ZONED: "LI"  
LOT 1, BLOCK A  
FIRST PARK 121  
(DOC. NO. 2018-311)  
FR LEWISVILLE MIDWAY, LLC  
(DOC. NO. 2018-8990)

**LINE TABLE**

LINE	BEARING	LENGTH
L1	DUE SOUTH	22.94'
L2	DUE EAST	25.00'
L3	DUE NORTH	23.14'
L4	N 89°29'16" E	51.95'
L5	N 44°30'15" E	16.98'
L6	N 00°26'52" W	10.00'
L7	N 89°33'08" E	10.00'
L8	N 00°26'52" W	10.00'
L9	DUE SOUTH	19.93'
L10	DUE EAST	15.00'
L11	DUE NORTH	20.07'

ZONED: "LI"  
**LOT 6, BLOCK A**  
LOT 1, BLOCK A  
COYOTE THEATER ADDITION  
(DOC. NO. 2016-32)  
FR LEWISVILLE MIDWAY 2, LLC  
(INST. NO. 2019-36270)

**33.924 TOTAL ACRES** (1,477,743 SF)  
- 0.214 TOTAL RIGHT-OF-WAY DEDICATIONS (9,340 SF)  
**33.710 NET ACRES** (1,468,403 SF)

ZONE "X"  
(SEE NOTE 2)

ZONE "A"  
(SEE NOTE 2)

ZONE "X"  
(SEE NOTE 2)

MATCH LINE (SEE SHEET 2)

**HOLFORDS PRAIRIE ROAD**  
(VARIABLE WIDTH RIGHT-OF-WAY)

Show the centerline and width per section 6-73(c)

SHEET 1 OF 3  
FINAL PLAT  
**FIRST PARK 121 ADDITION**  
**LOT 6, BLOCK A**  
33.924 ACRES (ZONED LI)  
BEING A REPLAT OF  
COYOTE THEATER ADDITION  
LOT 1, BLOCK A  
DOCUMENT NO. 2016-32  
AND BEING OUT OF THE  
SAMUEL M. HAYDEN SURVEY, ABSTRACT NO. 537  
CITY OF LEWISVILLE, DENTON COUNTY, TEXAS

**Pacheco Koch**  
7557 RAMBLER ROAD, SUITE 1400  
DALLAS, TX 75231 972.235.3031  
TX REG. ENGINEERING FIRM F-14439  
TX REG. SURVEYING FIRM LS-10193805

DRAWN BY KAJ	CHECKED BY JEC/MWW	SCALE 1"=60'	DATE JAN. 2020	JOB NUMBER 1013-19.218
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OWNER/DEVELOPER:  
FIRST INDUSTRIAL REALTY TRUST, INC.  
5310 HARVEST HILL ROAD, SUITE 270  
DALLAS, TEXAS 75230  
PH: 972-419-5715  
CONTACT: ROBERT ALLEN

ENGINEER/SURVEYOR:  
PACHECO KOCH, LLC  
7557 RAMBLER ROAD, SUITE 1400  
DALLAS, TX 75231  
PH: 972-235-3031  
CONTACT: JONATHAN COOPER

FILED \_\_\_\_\_  
DOC.# \_\_\_\_\_, P.R.D.C.T.

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FINAL PLAT - FIRST PARK 121 ADDITION, LOT 6, BLOCK A



**OWNER'S CERTIFICATE**

STATE OF TEXAS  
COUNTY OF DENTON

KNOW ALL MEN BY THESE PRESENTS:

WHEREAS, FR LEWISVILLE MIDWAY 2, LLC is the owner of a 33.924 acre tract of land situated in the Samuel M. Hayden Survey, Abstract No. 537, Denton County, Texas; said tract being all of that certain tract of land described in Warranty Deed to FR Lewisville Midway 2, LLC recorded in Document No. 2019-36270 of the Official Public Records of Denton County, Texas; said 33.924 acre tract being more particularly described as follows:

BEGINNING, at a 1/2-inch iron rod with "HALFF" cap found for corner in the south right-of-way line of Midway Road (a variable width right-of-way); said point being the northeast corner of Lot 1, Block A, Coyote Theater Addition, an addition to the City of Lewisville, Texas according to the plat recorded in Document No. 2016-32 of said Official Public Records and the northwest corner of Lot 1, Block A, First Park 121, an addition to the City of Lewisville, Texas according to the plat recorded in Document No. 2018-311 of said Official Public Records;

THENCE, South 01 degrees, 31 minutes, 44 seconds East, departing the said south line of Midway Road and along the west line of said Lot 1, Block A, First Park 121 Addition and the east line of said Lot 1, Block A, Coyote Theater Addition, a distance of 1,275.64 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner; said point being the southeast corner of said Lot 1, Block A, Coyote Theater Addition;

THENCE, South 89 degrees, 48 minutes, 07 seconds West, departing the said west line of said Lot 1, Block A, First Park 121 Addition and along the south line of said Lot 1, Block A, Coyote Theater Addition, a distance of 1,231.84 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner; said point being at an angle point in the east right-of-way line of Holfords Prairie Road (a variable width right-of-way);

THENCE, North 00 degrees, 14 minutes, 50 seconds West, along the west line of said Lot 1, Block A, Coyote Theater Addition and the said east line of Holfords Prairie Road, a distance of 881.35 feet to a 60D Nail found for corner; said point being the southwest corner of Lot 1, Block B, Hurst II Addition, an addition to the City of Lewisville, Texas according to the plat recorded in Document No. Q-287 of the said Official Public Records;

THENCE, North 89 degrees, 36 minutes, 15 seconds East, departing the said east line of Holfords Prairie Road and along the northwest line of said Lot 1, Block A, Coyote Theater Addition and the south line of said Lot 1, Block B, Hurst II Addition, a distance of 179.49 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner; said point being the southwest corner of said Lot 1, Block B, Hurst II Addition;

THENCE, North 00 degrees, 12 minutes, 00 seconds West, along a west line of said Lot 1, Block A, Coyote Theater Addition and the east line of said Lot 1, Block B, Hurst II Addition, passing at a distance of 210.14 feet, a 3/8-inch iron rod found for corner at the northeast corner of said Lot 1, Block A, Hurst II Addition and the southeast corner of Lot 1, Block A, Holford's Prairie Addition, an addition to the City of Lewisville, Texas according to the plat recorded in Document No. 2016-92 of said Official Public Records, counting for a total distance of 388.58 feet to a 1/2-inch iron rod found for corner in the said south line of Midway Road; said point being the northeast corner of said Lot 1, Block A, Holford's Prairie Addition;

THENCE, along the north line of said Lot 1, Block A, Coyote Theater Addition and the said south line of Midway Road, the following eight (8) calls;

North 89 degrees, 32 minutes, 51 seconds East, a distance of 251.92 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner, said point being the beginning of a non-tangent curve to the left;

In a east direction, along said curve to the left, having a central angle of 13 degrees, 27 minutes, 06 seconds, a radius of 280.53 feet, a chord bearing and distance of South 84 degrees, 01 minutes, 01 seconds East, 65.71 feet, an arc distance of 65.86 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner at the end of said curve;

North 89 degrees, 17 minutes, 50 seconds East, a distance of 87.11 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner;

South 89 degrees, 53 minutes, 53 seconds East, a distance of 107.60 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner;

North 44 degrees, 32 minutes, 50 seconds East, a distance of 11.35 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner;

North 89 degrees, 32 minutes, 51 seconds East, a distance of 72.91 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner;

North 89 degrees, 33 minutes, 08 seconds East, a distance of 222.35 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner;

North 89 degrees, 29 minutes, 16 seconds East, a distance of 208.29 feet to the POINT OF BEGINNING;

CONTAINING: 1,477,743 square feet or 33.924 acres of land, more or less.

**OWNER'S DEDICATION**

STATE OF TEXAS  
COUNTY OF DENTON

KNOW ALL MEN BY THESE PRESENTS:

That Robert Allen, as authorized agent for FR LEWISVILLE MIDWAY 2, LLC., does hereby adopt this plat designating the herein above described property as **FIRST PARK 121 ADDITION, LOT 6, BLOCK A**, an Addition to the City of Lewisville, Denton County, Texas, and does hereby dedicate to the public use forever the streets and alleys shown hereon; and does hereby dedicate the easement strips shown on the plat for mutual use and accommodation of the City of Lewisville and all public utilities desiring to use, or using same. No buildings, fences, trees, shrubs, signs, or other improvements shall be constructed or placed upon, over, or across the easement strips on said plat. The City of Lewisville and any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, signs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on any of these easement strips, and the City of Lewisville and any public utility shall at all times have the right of ingress and egress to and from and upon any of said easement strips for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or part of its respective system without the necessity at any time of procuring the permission of anyone. A blanket easement of a five (5) foot radius from the center point of all fire hydrants and a five (5) foot radius from the center point of all other appurtenances (fire hydrant valves, water meters, meter boxes, street lights) is hereby granted to the City of Lewisville for the purpose of constructing, reconstructing, inspecting and maintaining the above named appurtenances.

We do further dedicate, subject to the exceptions and reservations set forth hereinafter, to the public use forever, all public use spaces shown on the face of the plat.

All lots in the subdivision shall be sold and developed subject to the building lines shown on the plat.

FR LEWISVILLE MIDWAY 2, LLC

By: \_\_\_\_\_  
Name: Robert Allen  
Title: Regional Manager/ Market Leader  
FR Lewisville Midway, LLC

STATE OF TEXAS  
COUNTY OF DALLAS

BEFORE ME, the undersigned, a Notary Public in and for the County and State, on this day personally appeared Robert Allen, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed, and in the capacity therein.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the \_\_\_\_\_ day of \_\_\_\_\_, 2020.

Notary Public in and for the State of \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

**SURVEYOR'S CERTIFICATE**

STATE OF TEXAS  
COUNTY OF DALLAS

KNOWN ALL MEN BY THESE PRESENTS:

THAT, I, Jonathan E. Cooper, do hereby certify that I prepared this plat from an actual survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the Platting Rules and Regulations of Denton County, Texas.

Jonathan E. Cooper  
Registered Professional Land Surveyor  
No. 5369



STATE OF TEXAS  
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Jonathan E. Cooper, known to me to be the same person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

Notary Public  
Dallas County, Texas  
My Commission Expires: \_\_\_\_\_

**SIGNATURE BLOCK FOR CITY SECRETARY**

The undersigned, the City Secretary of the City of Lewisville, Texas, hereby certifies that the foregoing Final Plat of the **FIRST PARK 121 ADDITION**, an addition to the City of Lewisville was submitted to the appropriate Planning and Zoning Commission or City Council as required by the ordinances of the City of Lewisville on the \_\_\_\_\_ day of \_\_\_\_\_, 2019 and such body of formal action, then and there accepted the dedication of streets, alleys, parks, easements, public places and water and sewer lines, as shown and set forth in and upon said plat, and said body further authorized the acceptance thereof by signing as herein above subscribed in the capacity stated.

Witness my hand this \_\_\_\_\_ day of \_\_\_\_\_, 2020

Julie Worster City Secretary  
City of Lewisville, Texas

All variances (if any) from the general Development Ordinance Approved by City Council.

James Davis, Chairman, Planning & Zoning Commission  
City of Lewisville, Texas

Date

MWER  
1/21/2020 2:22 PM  
M:\DWG-TO\DWG-TO\1013-19-218\DWG\SURVEY\_CSD\_2018\1013-19-218\FP(REVISED)  
1-19-20.DWG

FINAL PLAT - FIRST PARK 121 ADDITION, LOT 6, BLOCK A

SHEET 3 OF 3  
FINAL PLAT  
**FIRST PARK 121 ADDITION  
LOT 6, BLOCK A**  
33.924 ACRES (ZONED LI)  
BEING A REPLAT OF  
COYOTE THEATER ADDITION  
LOT 1, BLOCK A  
DOCUMENT NO. 2016-32  
AND BEING OUT OF THE  
SAMUEL M. HAYDEN SURVEY, ABSTRACT NO. 537  
CITY OF LEWISVILLE, DENTON COUNTY, TEXAS

		7557 RAMBLER ROAD, SUITE 1400 DALLAS, TX 75231 972.235.3031 TX REG. ENGINEERING FIRM F-14439 TX REG. SURVEYING FIRM LS-10193805		
DRAWN BY KAJ	CHECKED BY JEC/MWW	SCALE N/A	DATE JAN. 2020	JOB NUMBER 1013-19.218

FILED \_\_\_\_\_  
DOC.# \_\_\_\_\_, P.R.D.C.T.

OWNER/DEVELOPER:  
FIRST INDUSTRIAL REALTY TRUST, INC.  
5310 HARVEST HILL ROAD, SUITE 270  
DALLAS, TEXAS 75230  
PH: 972-419-5715  
CONTACT: ROBERT ALLEN

ENGINEER/SURVEYOR:  
PACHECO KOCH, LLC  
7557 RAMBLER ROAD, SUITE 1400  
DALLAS, TX 75231  
PH: 972-235-3031  
CONTACT: JONATHAN COOPER

## MEMORANDUM

**TO:** Planning and Zoning Commission  
**FROM:** June Sin, Planner  
**DATE:** February 18, 2020  
**SUBJECT:** **Regular Hearing: Final Plat of Wyndale Meadows Addition, Phase 1, Lots 2R1 & 3, Block N; on 3.056 Acres out of the B.B.B. & C.R.R. Survey, Abstract Number 180; Zoned General Business District (GB); Located on the Northwest Corner of Windhaven Parkway and Parker Road (FM 544), Being a Replat of Wyndale Meadows Addition, Phase 1, Lot 2R, Block N.**

### **BACKGROUND:**

On September 16, 2019 City Council approve an amendment to the City's Land Development Regulations regarding plats and replats to conform to new legislative procedures. House Bill 3167 specifies that the Planning and Zoning Commission (P&Z) or the official responsible for the approval of plat, shall approve, approve with conditions, or disapprove a plat application within 30 days after the date the plat was filed with the City. This bill went into effect on September 1, 2019.

### **ANALYSIS:**

House Bill 3167 requires a written list of reasons for disapproval to be provided for plats that are disapproved. Each reason specified in the written statement must be directly related to the requirements of the land development regulations and include a citation to the applicable law, including statute or municipal ordinance, that is the basis for the reason for disapproval.

The final plat of Wyndale Meadows Addition Phase 1, Lots 2R1 & 3, Block N was submitted on January 21, 2020 and has been reviewed by City staff. Staff recommends disapproval of the above plat with following reasons based on Chapters 6 of the Lewisville Code of Ordinances.

#### **Section 6-73 (c) Final Plat (General Development Ordinance (GDO))**

- (18) All easements must be labeled correctly
- (24) Certification of ownership match what is found in the Chapter 6 appendix

The applicant may resubmit a revised final plat reflecting discrepancies cited by Staff comments. Staff shall then determine within 15 days if the revised application and response adequately addresses each reason for the disapproval.

### **RECOMMENDATION:**

Staff recommends that the Planning and Zoning Commission disapprove the final plat of Wyndale Meadows Addition Phase 1, Lots 2R1 & 3, Block N, for the deficiencies enumerated above and delegate to staff the ability to accept and approve the plat once the

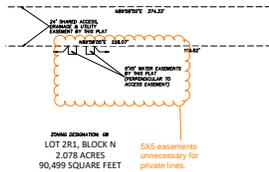
listed deficiencies are corrected. The approved plat will be brought to the chairman for signature.



**LEWISVILLE**  
Deep Roots. Broad Wings. Bright Future.

# WyndaleMeadows\_Markup Summary

## 5X5 easements unnecessary for private lines. (1)



Author: kchearon

5X5 easements unnecessary for private lines.

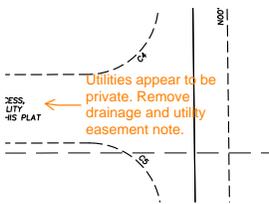
## move lot numbers to back of phase 1 (1)



Author: Jsin

move lot numbers to back of phase 1

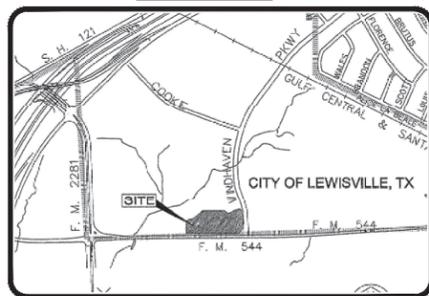
## Utilities appear to be private. Remove drainage and utility easement note. (1)



Author: kchearon

Utilities appear to be private. Remove drainage and utility easement note.

VICINITY MAP - 1"=1000'



**SURVEYOR'S CERTIFICATE**

I, John H. Barton III, do hereby certify that I have prepared this plat and the field notes shown hereon from an on-the-ground survey of that land, and this plat is a true, correct, and accurate representation of the physical evidence found at the time of the survey, that the corner monuments shown hereon were found and/or placed under my personal supervision. This plat was prepared in accordance with the platting rules and regulations of the City of Lewisville, Texas.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

**PRELIMINARY**

**THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED, VIEWED, OR RELIED UPON AS A FINAL SURVEY DOCUMENT January 16, 2020**

John H. Barton III, RPLS# 6737

Curve #	Arc	Radius	Delta	Chord Bearing	Chord
C1	31.41'	20.00'	089°59'45"	N45°02'02"W	28.28'
C2	42.41'	27.00'	090°00'15"	N44°57'58"E	38.19'
C3	15.60'	10.00'	089°22'08"	S45°20'51"E	14.06'
C4	39.55'	25.00'	090°37'52"	S44°39'09"W	35.55'
C5	38.99'	25.00'	089°22'08"	S45°20'51"E	35.16'
C6	17.16'	100.00'	009°49'59"	N85°03'06"E	17.14'
C7	13.04'	76.00'	009°49'59"	N85°03'06"E	13.03'
C8	31.64'	20.00'	090°37'52"	N44°39'09"E	28.44'

**SURVEYOR'S NOTES:**

- Bearings are based on the State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD '83), distances are surface with a combined scale factor of 1.00015063.
- This property lies within Zone "X" of the Flood Insurance Rate Map for Denton County, Texas and Incorporated Areas, map no. 48121C0570G, with an effective date of April 18, 2011, via scaled map location and graphic plotting.
- Monuments are found unless specifically designated as set.

**SIGNATURE BLOCK FOR CITY SECRETARY**

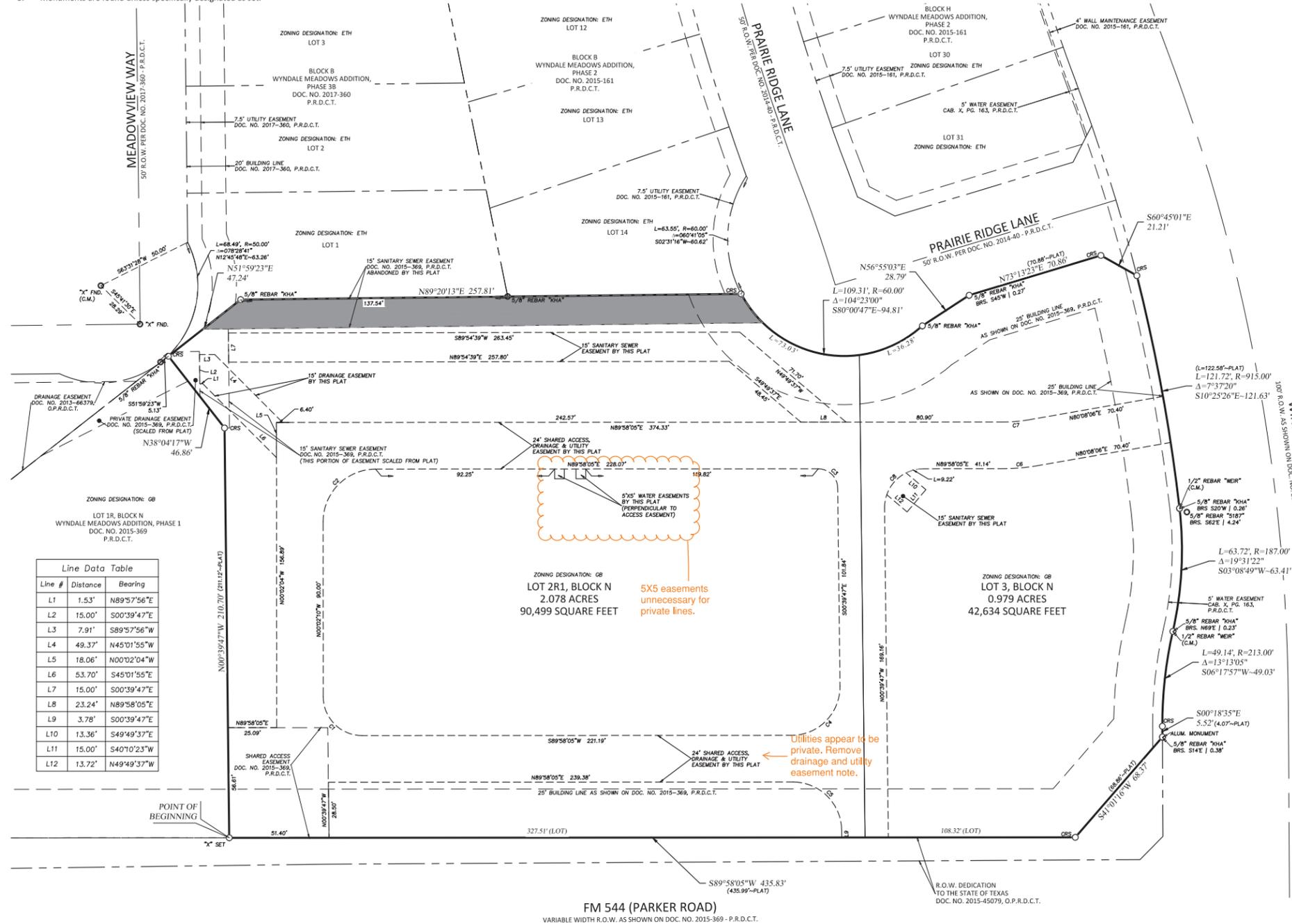
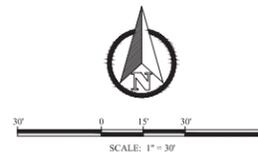
The undersigned, City Secretary of the City of Lewisville, Texas hereby certifies that the foregoing final plat of the Wyndale Meadows Addition, Phase 1, an addition to the City of Lewisville, was submitted to the appropriate Planning and Zoning Commission or City Council as required by their ordinance(s) of the City of Lewisville, and such body, by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public places, and water and sewer lines, as shown and set forth in and upon said plat, and said body further authorized the acceptance thereof by signing as hereinabove subscribed in the capacity stated.

Witness my hand this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Julie Worster, City Secretary, Lewisville, TX

All variances (if any) from the General Development Ordinance approved by City Council

James Davis, Chairman  
Planning and Zoning Commission, Lewisville, TX



Line #	Distance	Bearing
L1	1.53'	N89°57'56"E
L2	15.00'	S00°39'47"E
L3	7.91'	S89°57'56"W
L4	49.37'	N45°01'55"W
L5	18.06'	N00°02'04"W
L6	53.70'	S45°01'55"E
L7	15.00'	S00°39'47"E
L8	23.24'	N89°58'05"E
L9	3.78'	S00°39'47"E
L10	13.36'	S49°49'37"E
L11	15.00'	S40°10'23"W
L12	13.72'	N49°49'37"W

5X5 easements unnecessary for private lines.

Utilities appear to be private. Remove drainage and utility easement note.

move lot numbers to back of phase 1

**PROPERTY DESCRIPTION**

WHEREAS WINDHAVEN NEIGHBORHOOD SHOPS BY SLATE, LLC, is the owner of a tract situated in the B.B.&C.R.R. Survey, Abstract No. 180, City of Lewisville, Denton County, Texas, being all of Lot 2R, Block N, WYNDALE MEADOWS ADDITION, PHASE 1, an addition to the City of Lewisville, Denton County, Texas, according to the plat recorded in document number 2015-369, Plat Records, Denton County, Texas, the subject tract being more particularly described as follows (bearings are based on the State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983 (NAD '83')):

- BEGINNING** at an "X" cut set at the southwest corner of the herein described tract, lying on the north-right-of-way of FM 544, as described in document recorded in document number 2015-45079, Official Public Records, Denton County, Texas;
- THENCE** with the perimeter and to the corners of said Lot 2R, the following calls:
- NORTH 00 degrees 39 minutes 47 seconds WEST, a distance of 210.70 feet to a 1/2 inch rebar with pink plastic cap stamped "BARTON CHAPA" set (hereinafter "capped rebar set");
  - NORTH 38 degrees 04 minutes 17 seconds WEST, a distance of 46.86 feet to a capped rebar set;
  - NORTH 51 degrees 59 minutes 23 seconds EAST, a distance of 47.24 feet to a 5/8 inch rebar with cap stamped "KHA" found;
  - NORTH 89 degrees 20 minutes 13 seconds EAST, a distance of 257.81 feet to a capped rebar set at the beginning of a non-tangent curve to the left, having a radius of 915.00 feet, a central angle of 104 degrees 23 minutes 00 seconds, and a chord bearing and distance of SOUTH 80 degrees 00 minutes 47 seconds EAST, 94.81 feet;
  - Along the arc of said curve, an arc distance of 109.31 feet to a 5/8 inch rebar with cap stamped "KHA" found;
  - NORTH 56 degrees 55 minutes 03 seconds EAST, a distance of 28.79 feet to a point from which a 5/8 inch rebar with cap stamped "KHA" found bears SOUTH 45 degrees WEST, 0.27 feet;
  - NORTH 73 degrees 13 minutes 23 seconds EAST, a distance of 70.86 feet to a capped rebar set;
  - SOUTH 60 degrees 45 minutes 01 second EAST, a distance of 21.21 feet to a capped rebar set in the west line of Windhaven Parkway (100' right-of-way as shown on said WYNDALE MEADOWS ADDITION), being the beginning of a non-tangent curve to the right, having a radius of 915.00 feet, a central angle of 07 degrees 37 minutes 20 seconds, and a chord bearing and distance of SOUTH 10 degrees 25 minutes 26 seconds EAST, 121.63 feet;
  - Along the arc of said curve, an arc distance of 121.72 feet to a 1/2 inch rebar with cap stamped "WEIR" found, from which a 5/8 inch rebar with cap stamped "5187" found bears SOUTH 62 degrees EAST, a distance of 4.24 feet, also from which a 5/8 inch rebar with cap stamped "KHA" found bears SOUTH 20 degrees WEST, 0.26 feet, being the beginning of a compound curve, having a radius of 187.00 feet, a central angle of 19 degrees 31 minutes 22 seconds, and a chord bearing and distance of SOUTH 03 degrees 08 minutes 49 seconds WEST, 63.41 feet;
  - Along the arc of said curve, an arc distance of 63.72 feet to a 1/2 inch rebar with cap stamped "WEIR" found, from which a 5/8 inch rebar with cap stamped "KHA" found bears NORTH 69 degrees EAST, 0.23 feet, being the beginning of a reverse curve, having a radius of 213.00 feet, a central angle of 13 degrees 13 minutes 05 seconds, and a chord bearing and distance of SOUTH 06 degrees 17 minutes 57 seconds WEST, 49.03 feet;
  - Along the arc of said curve, an arc distance of 49.14 feet to a capped rebar set;
  - SOUTH 00 degrees 18 minutes 35 seconds EAST, a distance of 5.52 feet to an aluminum monument found, from which a 5/8 inch rebar with cap stamped "KHA" found bears SOUTH 41 degrees EAST, 0.38 feet;
  - SOUTH 41 degrees 01 minute 16 seconds WEST, a distance of 68.37 feet to a capped rebar set in the north line of said FM 544;
  - SOUTH 89 degrees 58 minutes 05 seconds WEST, a distance of 435.83 feet, returning to the POINT OF BEGINNING and enclosing 3.056 acres (133,133 square feet) of land more or less.

**OWNER'S CERTIFICATE OF DEDICATION**

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT WINDHAVEN NEIGHBORHOOD SHOPS BY SLATE, LLC, THE UNDERSIGNED AUTHORITY, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTY AS LOTS 2R1 AND 3, BLOCK N, WYNDALE MEADOWS ADDITION, PHASE 1 AN ADDITION TO THE CITY OF LEWISVILLE, DENTON COUNTY, TEXAS, AND DOES HEREBY DEDICATE TO THE PUBLIC USE FOREVER THE STREETS AND ALLEYS SHOWN HEREON, AND DOES HEREBY DEDICATE THE EASEMENT STRIPS SHOWN ON THE PLAT FOR MUTUAL USE AND ACCOMMODATION OF THE CITY OF LEWISVILLE AND ALL PUBLIC UTILITIES DESIRING TO USE, OR USING SAME. NO BUILDINGS, FENCES, TREES, SHRUBS, SIGNS, OR OTHER IMPROVEMENTS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE EASEMENT STRIPS ON SAID PLAT. THE CITY OF LEWISVILLE AND ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, SIGNS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF ITS RESPECTIVE SYSTEM ON ANY OF THESE EASEMENT STRIPS, AND THE CITY OF LEWISVILLE AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS AND EGRESS TO AND FROM AND UPON ANY OF SAID EASEMENT STRIPS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, AND ADDING TO OR REMOVING ALL OR PART OF ITS RESPECTIVE SYSTEM WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE. A BLANKET EASEMENT OF A FIVE (5) FOOT RADIUS FROM THE CENTER POINT OF ALL FIRE HYDRANTS AND A FIVE (5) FOOT RADIUS FROM THE CENTER POINT OF ALL OTHER APPURTENANCES (FIRE HYDRANT VALVES, WATER METERS, METER BOXES, STREET LIGHTS) IS HEREBY GRANTED TO THE CITY OF LEWISVILLE FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING AND MAINTAINING THE ABOVE NAMED APPURTENANCES. WE DO FURTHER DEDICATE, SUBJECT TO THE EXCEPTIONS AND RESERVATIONS SET FORTH HEREINAFTER, TO THE PUBLIC USE FOREVER, ALL PUBLIC USE SPACES SHOWN ON THE FACE OF THE PLAT. ALL LOTS IN THE SUBDIVISION SHALL BE SOLD AND DEVELOPED SUBJECT TO THE BUILDING LINES SHOWN ON THE PLAT. We do further dedicate, subject to the exceptions and reservations set forth hereinafter, to the public use forever, all public use spaces shown on the face of the plat. All lots in the subdivision shall be sold and developed subject to the building lines shown on the plat.

WINDHAVEN NEIGHBORHOOD SHOPS BY SLATE, LLC

BY: KRIS RAMJI, MANAGER

\_\_\_\_\_  
(OWNER/AGENT SIGNATURE)

BY: \_\_\_\_\_

STATE OF TEXAS §

COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared known to me to be the person and officer whose names is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes of and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Notary Public, State of Texas

**FINAL PLAT**

WYNDALE MEADOWS ADDITION, PHASE 1  
LOT 2R1 & 3, BLOCK N  
3.056 ACRES  
ZONING: GB (GENERAL BUSINESS)  
BEING A REPLAT OF  
WYNDALE MEADOWS ADDITION, PHASE 1  
LOT 1R & 2R, BLOCK N  
DOC. NO. 2015-396 (P.R.D.C.T.)  
B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 180  
CITY OF LEWISVILLE, DENTON COUNTY, TEXAS

ENGINEER  
KIRKMAN ENGINEERING, LLC  
5200 STATE HIGHWAY 121  
COLLEVILLE, TX 76034  
(817) 488-4960  
CONTACT: PATRICK FILSON, PE  
PATRICK.FILSON@TRUSTK.COM

SURVEYOR  
BARTON CHAPA SURVEYING, LLC  
JOHN H. BARTON, III RPLS# 6737  
5200 STATE HIGHWAY 121  
COLLEVILLE, TX 76034  
(817) 864-1557  
JACK@BCSDFW.COM

OWNER  
WINDHAVEN NEIGHBORHOOD SHOPS BY SLATE  
5729 LEBANON ROAD, STE. 144-589  
FRISCO, TX 75034  
KRIS@SLATECOMMERCIAL.COM  
972.898.4651

FILED \_\_\_\_\_ DOC# \_\_\_\_\_, P.R.D.C.T.

PLAT PREPARED BY: BARTON CHAPA SURVEYING, LLC  
10174474

## MEMORANDUM

**TO:** Planning & Zoning Commission

**FROM:** Michele Berry, Planning Manager

**DATE:** February 18, 2020

**SUBJECT:** **PUBLIC HEARING: Consideration of a Zone Change Request from Planned Development – Mixed Use District (PD-MU) To Planned Development – Mixed Use District (PD-MU) to Amend the Existing Planned Development; on an Approximately 90.588-Acre Tract of Land out of the Stephen Riggs Survey, Abstract No. 1088 and the WM. Brown Survey, Abstract No. 63; Located on Both the East and West Sides of Summit Avenue North of the Kansas City Southern Railroad and Grandy’s Lane with Frontage on the West Side of I-35E (North Stemmons Freeway) and the East Side of McGee Lane, as Requested by the City of Lewisville, the Applicant. (Case No. 19-11-4-PZ)**

### **BACKGROUND**

In 2015 the subject site was part of a large vacant area extending along the west side of North Stemmons Freeway (I-35E) northward from the Kansas City Southern Railroad (KCSR) to Garden Ridge Boulevard that had for many years been envisioned as a light industrial business park. Land use evaluations conducted in conjunction with the I-35E Corridor Plan and the Lewisville 2025 Plan concluded that the highest and best land use for this area of the City would be mixed use in the form of urban style retail/office/residential rather than the light industrial uses previously envisioned.

The property was rezoned in 2015 to the Village at Lewisville Planned Development District. That district utilized a form-based code approach to give the developer substantial flexibility and allowed up to 1,925 residential units (1,625 multifamily and 300 single-family). As initial development has begun in the Village at Lewisville it is time to amend the zoning to provide a clear concept plan and development guidelines. Two projects are currently in the construction process. This zoning amendment reflects those projects and reaffirms their zoning and design. The revised Planned Development district with concept plan will make future administration more streamlined and give adjacent property owners more clarity about what will be built in the area.

### **ANALYSIS**

The proposed Planned Development (PD) for The Village at Lewisville presents five subdistricts with unique development standards:

*Townhome 1 Subdistrict* – This subdistrict is being developed currently by Huffines with 250 townhomes. A final plat with variances was previously approved. This Planned Development zoning amendment incorporates the plan being built.

*Townhome 2 Subdistrict* – This subdistrict is the current gas well site. This Planned Development zoning amendment would allow townhomes matching the standards of the Townhome 1 Subdistrict to be built there if and when the gas well operations cease, and the well

is capped. No concept plan has been prepared at this time. Based on the acreage and maximum density it would be limited to 42 dwelling units.

*Multifamily 1 Subdistrict* – This subdistrict is planned to be developed by Huffines and includes three multifamily residential buildings with no more than 300 residential units. Two variances are requested with this subdistrict;

- a) To Section 6-162 to reduce the parking ratio to 1.6 spaces per unit. *Section 6-162 requires two spaces per unit. The previous Planned development required 1 space for a one-bedroom unit and 1.8 spaces for a two-bedroom unit. Of the units 75 percent will be one bedroom with the remaining 25% two-bedroom units. The proposed ratio results in more parking than is required under the current planned development. A similar ratio was approved for Aura Old Town. Staff is not opposed to the variance.*
- b) To Section 6-98 to allow pavement over a water line. *Section 6-98 (d) requires that all public water lines outside of street or utility right-of-ways shall be placed in a grass only water line easement. The developer is anticipating private paving improvements will encroach into an existing water line easement. As a condition for this variance request, the owner accepts responsibility for all pavement repairs required due to maintenance or repair of the City water main performed by City crews or City's contractor. Staff is not opposed to the variance since the owner will accept responsibility for the pavement repairs. A similar variance was approved by the City Council for LISD Lewisville High School Harmon Campus, Lewisville Towne Crossing at the northeast corner of Sam Rayburn Tollway and Josey Lane and the Shops of Castle Hills at the northwest corner of Sam Rayburn Tollway and Josey lane all within Castle Hills.*

*Multifamily 2 Subdistrict* – This subdistrict is currently being developed by NRP. Variances were previously approved by City Council. This subdistrict will have 347 units. This PD amendment incorporates the plan being built.

*Commercial Subdistrict* – This subdistrict is along the highway and requires a minimum of 55,000 square feet of commercial space to reflect the minimum ground floor commercial space required under the current planned development. The design standards included also reflect the current Planned Development regulations. There will be no residential units.

Summary of major changes with this Planned Development amendment:

*Residential Density* – Overall the number of permitted multifamily units is reduced from 1,625 units to 647 units and the number of single-family townhomes remains around 300.

*Thoroughfare Plan* – The previous thoroughfare plan required a street bridge over the drainage way and wetlands to join what is now the Townhome 2 Subdistrict and Multifamily 1 Subdistrict. This street is being removed due to the reduced density. A pedestrian bridge will be provided as part of the enhancements of the drainage way and wetlands.

*Format* – The Planned Development now follows our standard template and provides a regulatory concept plan. This change improves predictability of development and administration.

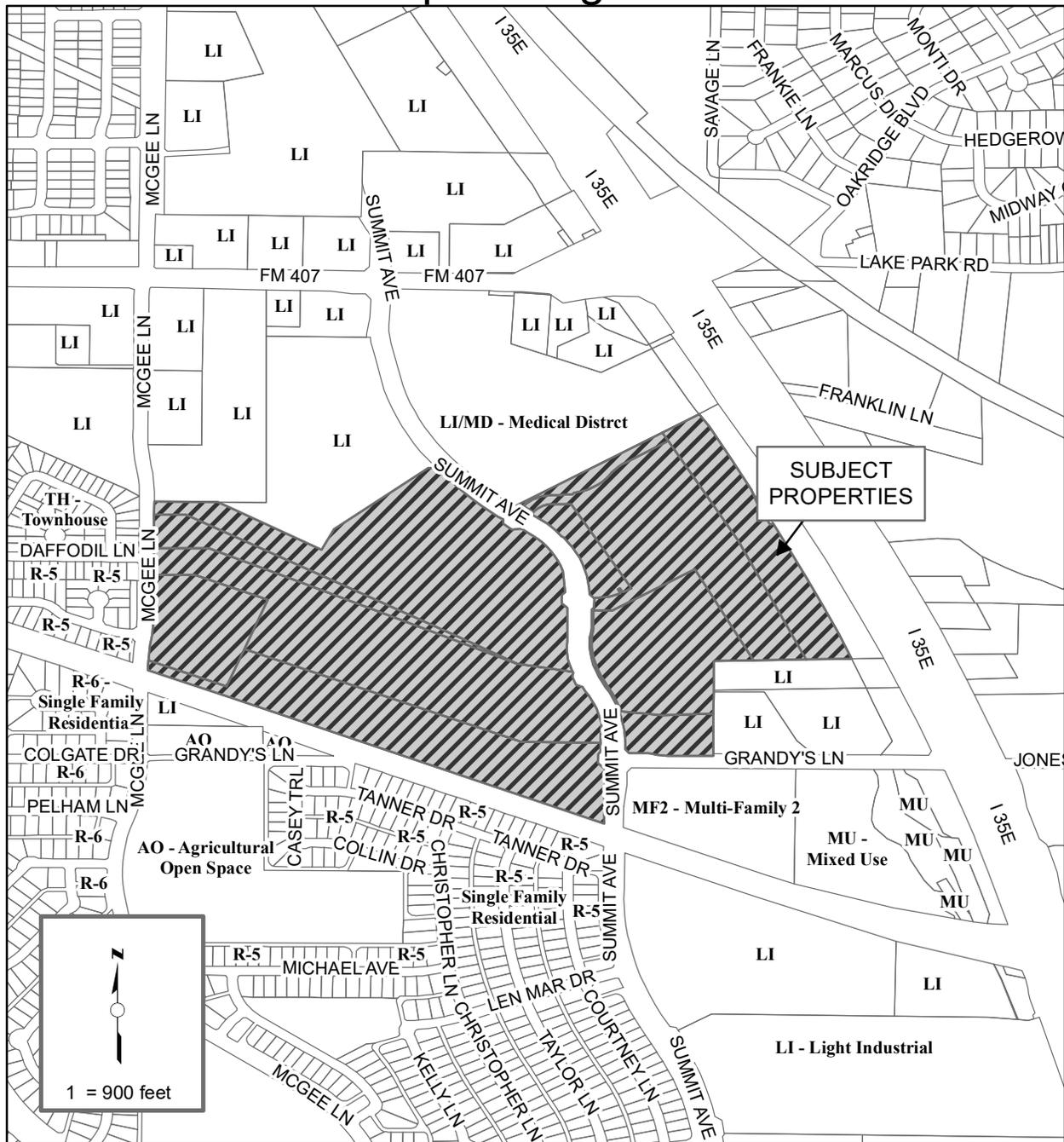
**RECOMMENDATION**

That the Planning and Zoning Commission approve the requested zone change from Planned Development-Mixed Use District (PD-MU) to Planned Development-Mixed Use District (PD-MU) as submitted with the variances as set forth above with the condition for the water line easement variance request, the owner accepts responsibility for all pavement repairs required due to maintenance or repair of the City water main performed by City crews or City's contractor.

# Location Map - Villages at Lewisville



# Location Map - Villages at Lewisville



**ZONING CASE NO. 19-11-4-PZ**

**APPLICANT:** CITY OF LEWISVILLE

**PROPERTY LOCATION:** STEPHEN RIGGS SURVEY, ABSTRACT NO. 1088 AND W.M. BROWN SURVEY, ABSTRACT NO. 63 (90.588-ACRES) LOCATED ON BOTH THE EAST AND WEST SIDES OF SUMMIT AVENUE, NORTH OF THE KANSAS CITY SOUTHERN RAILROAD AND GRANDYS LANE WITH FRONTAGE ON THE WEST SIDE OF I-35E (NORTH STEMMONS FREEWAY) AND THE EAST SIDE OF MCGEE LANE

**CURRENT ZONING:** PLANNED DEVELOPMENT – MIXED USE DISTRICT (PD-MU)

**REQUESTED ZONING:** PLANNED DEVELOPMENT – MIXED USE DISTRICT (PD-MU)

# DEVELOPMENT STANDARDS

## I. PROJECT LOCATION

This planned development district consists of 90.588 acres of property located on the east and west sides of Summit north of the Kansas City Southern Railroad and Grandy's Lane with frontage on the west side of I-35E (North Stemmons Freeway) and the east side of McGee Lane, and more generally described in **Exhibit A**.

## II. PURPOSE AND INTENT

### A. Purpose and Intent:

1. The purpose and intent of this district is to provide for a mix of uses, including townhomes, multifamily, and commercial and associated open space.
2. The Development Standards herein shall apply to the use and development of all property within this district.
3. This district shall be developed in multiple phases.

## III. APPLICABLE REGULATIONS

- A. Applicability: These Development Standards and the Concept Plan attached as **Attachment 1** shall apply to all development within the district.
- B. Base Zoning: The base zoning for this PD shall be MU.
- C. Zoning Ordinance: All references herein to the City of Lewisville Zoning Ordinance shall be to the City of Lewisville Zoning Ordinance in effect on the date of the adoption of this ordinance.

## IV. DEFINITIONS

- A. Open space means parks, wetland areas, or other areas that are designated as open space on a final plat.
- B. Property means all property within this district, which consists of the Townhome 1 Subdistrict, Townhome 2 Subdistrict, Multifamily 1 Subdistrict, Multifamily 2 Subdistrict and Commercial Subdistrict.
- C. The Townhome 1 Subdistrict means the area described as the Townhome Subdistrict on **Exhibit A**, generally located west of Summit Ave and north of the Kansas City railroad Line.

- D. The Townhome 2 Subdistrict means the area described as the Townhome 2 Subdistrict on **Exhibit A**, generally located at the current gas well site.
- E. The Multifamily 1 Subdistrict means the area described as the Multifamily 1 Subdistrict on **Exhibit A**, generally located west of Summit Ave and north of the Townhome 1 Subdistrict.
- F. The Multifamily 2 Subdistrict means the area described as the Multifamily 2 Subdistrict on **Exhibit A**, generally located east of Summit Ave and north of Grandy's Lane.
- G. The Commercial Subdistrict means the area described as the Commercial Subdistrict on **Exhibit A**, located on the west side IH-35E.

V. **DEVELOPMENT REGULATIONS**

A. **Townhome 1 Subdistrict:** The Following requirements apply to the Townhome Subdistrict:

1. Purpose: To allow for the development of front entry and rear entry townhomes on lots of not less than 1,700 square feet, along with allowed accessory uses and structures.
2. Permitted Uses:
  - a. Single family attached dwelling units (townhomes)
  - b. Accessory uses to a townhome
3. Height Regulations: No building shall exceed 38 feet in height measured at the peak of the roof.
4. Roof Pitch: The minimum roof pitch shall be 5:1.
5. Area Regulations: The following minimum standards shall apply:

Minimum dwelling unit size: The minimum dwelling unit size shall be 1,450 square feet, excluding garages, porches, and breezeways.

Maximum lot coverage: The combined area covered by all buildings and accessory structures shall not exceed 80 percent.

Minimum front yard setback: The minimum front yard shall be 7.5 feet.

Minimum rear yard setback: The minimum rear yard on lots that have access from a public street shall not be less than five feet. Rear yards on lots that have access from an alley shall not be less than 20 feet.

Minimum side yard setback: End-unit lots shall have a minimum side yard of five feet on the side that is not attached to another unit. A corner side yard adjacent to a street shall be a minimum of 7.5 feet. No side yard is required where units are attached.

Minimum lot width: The minimum lot width shall be 22 feet.

Minimum lot depth: The minimum lot depth shall be 70 feet.

Minimum lot area: The minimum lot area shall be 1,700 square feet.

Maximum density: A maximum of 250 townhomes are permitted, which equates to a maximum of 7.71 units per gross acre.

6. Lot Layouts. Typical townhome lot layouts are illustrated on **Attachment 2**.

7. Architectural Standards.

a. The aggregate total of all exterior walls elevations (excluding doors and windows and anything above the roof line) on a building shall consist of not less than 80 percent brick veneer, and no single wall elevation shall consist of less than 80 percent brick veneer. Areas above the roof line may be constructed of fiber board or stucco. No other exterior finish material requirements shall apply.

b. The elevations attached as **Attachment 3** are illustrative of the type of design and quality required for townhome development. **Attachment 3** is not intended to be a final, binding architectural elevation. Building articulation, brick patterns, building material colors, and other characteristics shown on **Attachment 3** may vary on the final building design provided the design and quality of the final building design is comparable to the design and quality shown on **Attachment 3**.

c. All rear entry townhomes shall have a covered porch. All front entry townhomes shall have decorative garage doors with windows. All

townhomes shall have a decorative front door and a minimum of three of the following features: gables, shutters, decorative soffit brackets, decorative columns, dormers, box windows, or decorative banding.

8. Landscaping.

- a. The Townhome Subdistrict shall be subject to the alternate tree planting plan on **Attachment 5**.
- b. Required trees may be planted in the front, side, or rear yard, or in other locations shown on the alternate tree planting plan on **Attachment 5**.
- c. If a lot does not contain sufficient area to plant all required trees, trees may be planted within an open space area located outside of any easements or in another designated location approved by the city.

9. Parking.

- a. The minimum parking required for a townhome unit is two spaces. On-street parking may not be counted towards this requirement. Garage and tandem parking may be counted towards this requirement.
- b. Required parking must be provided on the same lot as the use it serves.
- c. Guest parking shall be provided as shown on the Concept Plan attached as **Attachment 1**. A minimum of one guest parking space is required for every four townhome units. On-street parallel parking may be provided to satisfy guest parking requirements.
- d. Parking in the driveway in front of a townhome shall be prohibited.
- e. Townhomes may have front entry or rear entry garages.
- f. Along Summit Avenue, parallel parking is required on one side of the street with curb bulbs at intersections.

10. Sidewalks. Sidewalks shall (1) be required along all public streets; (2) be contained within the right-of-way or the adjacent utility and pedestrian easement; (3) have a minimum width of five feet if they directly abut curbs; and (4) have a minimum width of four feet if they do not directly abut curbs. No sidewalks are required where trails abut a street.

11. Amenities. At full development of the Townhome Subdistrict and the Multifamily 1 Subdistrict, the open space within these subdistricts shall be

improved consistent with the open space and trail plan attached as **Attachment 4**.

12. **Screening, Gates, and Fences.**

- a. Screening is only required adjacent to the existing gas well site and along Summit Avenue. Screening on Summit Avenue shall be living screening with masonry columns in accordance with **Attachment 13**. Shrubs shall be three feet in height at the time of planting and grow up to at least six feet in height. A six foot tall brick veneer screening wall shall be provided where lots are located adjacent to the existing gas well site, be maintained by the home owners association, and be installed prior to acceptance of public improvements.
- b. For front entry townhomes, rear yard fencing that is a maximum of six feet in height is permitted. Front entry townhomes may have open metal or vinyl fencing that is a maximum of six feet in height where a lot abuts an open space, except that wood privacy fencing that is a maximum height of six feet is permitted where a lot is parallel to a railroad. See **Attachment 6** for townhome fencing details.

13. **Fire Sprinklers.** Three or more attached townhomes shall require automatic fire sprinkler systems.

14. **Variances for the Townhome Subdistrict.** The following variances for the Townhome Subdistrict have been granted and are incorporated into this PD:

- a. Dead end streets may terminate with an approved cul-de-sac having an outside minimum radius of 42 feet from the right-of-way line.
- b. A minimum public street right-of-way width of 45 feet is permitted with a 7.5-foot utility easement on each side as necessary for private utilities, for a total width of 60 feet.
- c. Alleys are permitted to have a 24-foot wide right-of-way with 24 feet of paving to provide fire and emergency access to townhomes that are not located along a public street and have no other means of emergency access. Such alleys shall be marked as fire lanes with no parking per city ordinance.
- d. A minimum rear setback of five feet is permitted for townhome structures.
- e. Public water lines (not irrigation piping) may be installed under public street pavement within the right-of-way.

- f. Corner lots may have a minimum lot width of 12 feet along curved streets and cul-de-sacs.
- g. Control of access at a residential street intersection shall be 15 feet.
- h. The required clear vision areas shall be based on AASHTO standards instead of the city standard of 45 feet by 45 feet.
- i. Alternate tree locations were approved.
- j. A Summit Boulevard screening detail was approved.
- k. The minimum parking requirement was reduced from three spaces per unit to two spaces per unit.

**B. Townhome 2 Subdistrict:** The Following requirements apply to the Townhome Subdistrict:

- 1. Purpose: To allow for the re-development of the gas well in a manner consistent with the Townhome 1 Subdistrict, along with allowed accessory uses and structures. No concept plan is provided at this time.
- 2. Permitted Uses:
  - a. Single family attached dwelling units (townhomes)
  - b. Accessory uses to a townhome
  - c. The existing gas well may remain until such time as the wells are capped.
- 3. Height Regulations: Shall match the Townhome 1 Subdistrict.
- 4. Roof Pitch: Shall match the Townhome 1 Subdistrict.
- 5. Area Regulations: Shall match the Townhome 1 Subdistrict except that the maximum density shall be limited to 7.71 units per gross acre.
- 6. Lot layouts. Shall match the Townhome 1 Subdistrict
- 7. Architectural Standards. Shall match the Townhome 1 Subdistrict.
- 8. Landscaping. If a lot does not contain sufficient area to plant all required trees, trees may be planted within an open space area located outside of any easements or in another designated location approved by the city.

9. Parking.
  - a. The minimum parking required for a townhome unit is two spaces. On-street parking may not be counted towards this requirement. Garage and tandem parking may be counted towards this requirement.
  - b. Required parking must be provided on the same lot as the use it serves.
  - c. Guest parking shall be provided at a minimum of one guest parking space is required for every four townhome units. On-street parallel parking may be provided to satisfy guest parking requirements.
  - d. Parking in the driveway in front of a townhome shall be prohibited.
  - e. Townhomes may have front entry or rear entry garages.
10. Sidewalks. Sidewalks shall (1) be required along all public streets; (2) be contained within the right-of-way or the adjacent utility and pedestrian easement; (3) have a minimum width of five feet if they directly abut curbs; and (4) have a minimum width of four feet if they do not directly abut curbs. No sidewalks are required where trails abut a street.
11. Amenities. A minimum of one private open space lot shall be provided where the gas well heads are plugged to ensure access. This area shall be landscape as passive open space for residents.
12. Screening, Gates, and Fences.
  - a. When the Townhome 2 Subdistrict is developed the existing six-foot-tall masonry screening wall for the gas well may be remove with permission from the Townhome 1 Subdistrict HOA.
  - b. Screening on McGee shall be living screening with masonry columns, in accordance with **Attachment 13**. Shrubs shall be three feet in height at time of planting and grow to at least six feet in height.
13. Fire Sprinklers. Three or more attached townhomes shall require automatic fire sprinkler systems.

14. Variances for the Townhome 2 Subdistrict. Variances required for the development of the Townhome 2 subdistrict shall be considered with the preliminary plat of the development.

**C. Multifamily 1 Subdistrict:** The following requirements apply to the Multifamily 1 Subdistrict:

1. Purpose: To allow multifamily structures and associated parking and accessory uses, including amenities and a leasing office.
2. Permitted Uses:
  - a. Multifamily
  - b. Accessory uses
3. Height Regulations: No building shall exceed 60 feet in height, measured at the peak of the roof, and five stories.
4. Area Regulations: The following minimum standards shall apply:

Minimum dwelling unit size: The minimum dwelling unit size shall be 500 square feet. The minimum average dwelling unit size for all units combined shall be 650 square feet.

Maximum lot coverage: The combined area covered by all buildings and accessory structures shall not exceed 50 percent.

Minimum front yard setback: The minimum front yard shall be 50 feet.

Minimum rear yard setback: The minimum rear yard shall be 50 feet.

Minimum side yard setback: The minimum side yard shall be 50 feet.

Minimum lot width: The minimum lot width shall be 50 feet.

Minimum lot depth: The minimum lot depth shall be 50 feet.

Minimum lot area: The minimum lot area shall be 35,000 square feet.

Maximum density: A maximum of 300 multifamily units are permitted, which equates to a maximum of

approximately 30 units per gross acre within the Multifamily 1 Subdistrict.

5. Architectural Standards.

- a. The aggregate total of all exterior walls elevations (excluding doors and windows) on a building shall consist of not less than 60 percent brick veneer, and no single wall elevation shall consist of less than 60 percent brick veneer. No other exterior finish material requirements shall apply.
- b. The elevations attached as **Attachment 7** are illustrative of the type of design and quality required for multifamily development. **Attachment 7** is not intended to be a final, binding architectural elevation. Building articulation, brick patterns, building material colors, and other characteristics shown on **Attachment 7** may vary on the final building design provided the design and quality of the final building design is comparable to the design and quality shown on **Attachment 7**.

6. Parking.

- a. Along Summit Avenue, parallel parking is required on one side of the street with curb bulbs at intersections.
- b. The minimum parking required shall be 1.6 spaces per unit. Tuck under garages that are fully enclosed and tandem parking (partially or wholly enclosed) may be counted towards this requirement. No more than 15 percent of required parking spaces may be satisfied with tandem parking spaces.
- c. Any off-street surface parking area located adjacent to a street shall be screened in the form of a landscape row which is at least three feet in height at maturity.
- d. Covered parking or carports shall be constructed of masonry or metal and shall be placed behind buildings which front on public streets. Carports of metal construction are permitted. The poles supporting a carport shall have a masonry base if the poles are located in an open space area or landscaped island.
- e. Structured parking facilities may be used to meet the parking requirements provided they do not occupy more than 75 feet of ground floor street frontage per block

7. Sidewalks. Sidewalks shall (1) be required along all public streets; (2) be contained within the right-of-way or the adjacent utility and pedestrian easement; (3) have a minimum width of five feet if they directly abut curbs; and (4) have a minimum width of four feet if they do not directly abut curbs. No sidewalks are required where trails abut a street.
8. Amenities. At full development of the Townhome Subdistrict and the Multifamily 1 Subdistrict, the open space within these subdistricts shall be improved consistent with the open space and trail plan attached as **Attachment 4**, and the following shall be installed within the Multifamily 1 Subdistricts: a minimum 2,000 square foot clubhouse, a minimum 500 square foot fitness center, a swimming pool, a swimming pool deck with furniture, an artificial turf yoga area, a dog park, park seating, and landscaping (trees and shrubs).
9. Fences. Fences shall not be permitted in locations where a lot abuts open space.
10. Variance for the Multifamily 1 Subdistrict. The minimum parking requirement has been reduced to 1.6 parking spaces per unit. Paving over the existing 20 inch water line is permitted and the owner will be responsible for repairing or replacing pavement due to the city repairing or replacing the water line.

**D. Multifamily 2 Subdistrict:** The following requirements apply to the Multifamily 2 Subdistrict shown on **Attachment 8**:

1. Purpose: To allow multifamily structures and associated parking and accessory uses, including amenities and a leasing office.
2. Permitted Uses:
  - a. Multifamily
  - b. Accessory uses
3. Area Regulations:

Maximum lot coverage:	95 percent
Minimum front yard setback:	5 feet
Minimum rear yard setback:	0 feet
Minimum side yard setback:	0 feet
Minimum side yard setback corner:	Match front setback

Minimum lot width: 50 feet  
 Minimum lot depth: 50 feet  
 Minimum lot area: 2,500 square feet

4. Architectural Standards. Building architecture shall be consistent with the drawings attached as **Attachment 9**.
5. Landscaping. The required street trees, parking lot trees, and preserved trees in proposed open spaces shall constitute the required tree mitigation, if any mitigation is required. Shrubbery shall be installed between the building and public sidewalk averaging approximately three feet on center.
6. Parking.
  - a. The multifamily parking requirement shall be 1 space per unit for 1 bedroom/efficiency units; 1.8 spaces per unit for two bedroom units and two spaces per units for units with three or more bedrooms.
  - b. The following parking standards table shall apply:

PARKING STANDARDS TABLE		
PARKING TYPE	PARKING STANDARD	COMMENT
ON-STREET PARKING:		
Parallel Parking:	8' x 20' min	From Back of Curb
Angled-in Parking	9' x 18' min	Angle = 60° from Curb
Head in parking (90°)	Not permitted	
PARKING LOTS		
Parking Space, Typical	9' x 18'	Accessible spaces comply w ADA
Aisle Width	24' min	
Landscape Requirements	1 tree per 10 spaces	
Tandem Spaces	9' x 20'	Location subject to site plan approval
GARAGES		
"Tuck-under" Garage Dimensions	10' x 20' Min	
Tuck-under" Garage Doors		Garage Doors Required
Carport Dimensions	9'x 18'	

- f. On-street parking shall be included in the minimum parking.
- g. Shared parking lots are permitted. Parking demand is established at a blended rate.
- h. The following standards shall apply:
  - i. Any off-street surface parking area located adjacent to a street shall be screened in the form of a landscape row which is at least three feet in height at maturity.
  - ii. Covered parking or carports shall be constructed of masonry or metal and shall be placed behind buildings which front on public streets. Carports of metal construction are permitted.

- iii. Structured parking facilities may be used to meet the parking requirements provided they do not occupy more than 75 feet of ground floor street frontage per block.
- 7. Fencing. The maximum height for a rear fence shall be six feet between buildings. Rear fencing shall be constructed of iron.
- 8. Sidewalks. Sidewalks shall be six feet in width except along Summit Avenue.
- 9. Permitted Setback Encroachments. The following encroachments are permitted into a required setback: elevated entry, porch, or stoop, patio, landscaping (no paving), and fencing (maximum 36 inches in height). Parking and enclosed or screened porches are not permitted encroachments.
- 10. Other: Lots must front upon at least one street right-of-way or adjacent open space, as specified. The intent of this rule is to establish urban blocks with buildings located at the perimeter of the blocks, facing the street or open space, with access to the pedestrian network.
- 11. Approved Variances: The following variances have previously been granted to development in the Multifamily 2 Subdistrict and are incorporated here for reference:
  - a. to exceed the maximum gap for a parking lot between buildings of 70 feet per The Village at Lewisville PD;
  - b. to allow parking within 60 feet of an intersection per The Village at Lewisville PD but maintain the City standard of no parking within 20 feet of a cross walk;
  - c. to provide less than the required 80% masonry under Section J (P-2) of The Village at Lewisville PD by demonstrating an alternative method of achieving the standard of quality with the proposed allocation of masonry materials;
  - d. to provide a six-foot sidewalk with strategic sidewalk connections to the parallel parking in lieu of providing an eight-foot sidewalk along the two east/west shared access drives; and
  - e. to allow an oversized approach apron in lieu of a right turn lane for the northern ancillary entry off of Interstate I-35E frontage.

**E. Commercial Subdistrict**: The following requirements apply to the Commercial Subdistrict shown on **Attachment 14**:

1. Purpose: To allow commercial uses to benefit from proximity to IH-35E and create an active retail and service corridor between this subdistrict and the Multifamily 2 Subdistrict.

2. Permitted Uses:

- a. Department store and similar retail stores
- b. General office
- c. Restaurant, including those with outdoor seating areas but no drive-thru's.
- d. Grocery stores
- e. Video rental stores, movie theaters and other indoor amusements.
- f. Barber and beauty shops
- g. Dry cleaning and laundry services
- h. Florists
- i. Automobile parking structures
- j. Church worship facilities
- k. Hotels
- l. Brewery, Distillery or Winery
- m. Bars
- n. Fitness/Dance Studio
- o. Retail sales or services
- p. Other retail, office and service uses of a similar nature

3. Area Regulations:

Maximum lot coverage: None

Minimum front yard setback: Minimum 8 feet from the back of curb to the front building facade. The internal drive facing the Multifamily 2 Subdistrict will be considered the front.

Minimum rear yard setback:	60 feet. The IH-35E frontage will be considered the rear.
Minimum side yard setback:	None
Minimum side yard setback corner:	8 FT
Minimum lot width:	50 feet
Minimum lot depth:	50 feet
Minimum building footprint:	2,000 square feet
Minimum density:	55,000 square feet of commercial space

4. Architectural Standards. Building quality and layout shall be as reflected generally in **Attachment 15** renderings
  - a. Building orientation. All main entries shall be oriented to the west, towards the internal private drive and Multifamily 2 Subdistrict.
  - b. Service areas, dumpsters, utility meters, irrigation controllers and mechanical equipment shall all be oriented on the rear of the buildings, facing IH-35E. These areas shall be screening per the City of Lewisville Ordinances.
  - c. A minimum of fifty percent of the first-floor elevations on the front of buildings shall be glazing, for the purposes of this calculation the first floor elevation shall be considered 8 feet by the length of the facade.
  - d. The minimum ground floor clear ceiling height is ten feet.
  - e. Buildings fronts shall have architectural expressions along the front facades of the building, such as recesses, projections, pilasters, balconies, loggia, porticos, canopies, parapets, bay windows, dormers or similar architectural features. The frequency shall average approximately one architectural expression for each 25 feet of front façade length.
  - f. Building shall be a minimum of 80 percent stone or brick and the remaining 20 percent must be masonry including stucco, cementitious fiberboard, cultured stone, cast stone, painted tilt-wall concrete. The applicant may apply for reduction in the 80 percent

stone or brick requirement directly to City Council by demonstrating an alternative method of achieving the minimum quality such as superior architectural design, recreational amenities, interior finishes, balconies, landscaping, common areas, and other items which justify a modification of the minimum brick or stone area required.

5. Landscaping.

- a. A minimum five-foot landscape buffer with minimum three-foot-tall evergreen shrubs is required along the IH-35E frontage road.
- b. Any off-street surface parking area located adjacent to a street shall be screened in the form of a landscape row which is at least three feet in height at maturity.
- c. Street trees are required every forty feet on center along IH-35E and all designated thoroughfares per Attachment 11. Street trees shall be aligned to greatest extent possible with the street trees on the opposite side of the driveway in the Multifamily 2 Subdistrict. These trees may be located in tree grates in the side provided the usable width of the sidewalk is not reduced to below four feet.
- d. All plant material shall be selected from the approved list in the IH-35E Overlay District.
- e. A surface parking lot shall have, within the parking lot area, a minimum of one shade tree, with a minimum size of 2 caliper inches, per every 10 parking spaces provided.

6. Parking.

- a. Minimum parking rates are provided below.
 

Mixed office and retail	1 space per 250 gross square feet.
Office only	1 space per 333 gross square feet
Restaurant or bar	1 space per 100 gross square feet
Hotel	1 space per room
All other uses	65% of the required parking per the code of ordinances

- b. Shared parking lots are permitted and the Planning Director may authorize a reduction of up to 20 percent if the developer shows that peak parking demand will be offset based on the mix of uses. The Planning Director may request a parking study to confirm the requested parking reduction will be sufficient.
- c. On-street parking shall be included in the minimum parking. Angled parking is required on the drive facing the Multifamily 2 Subdistrict and shall be designed to reflect the angled parking installed on the opposite site of the drive.
- d. Structured parking facilities may be used to meet the parking requirements provided they do not occupy more than 75 feet of ground floor street frontage per block.

7. Fencing.

- a. Iron or tubular steel fencing not to exceed 8 feet in height is permitted and may be allowed between buildings. This shall not be construed to prevent screening of service areas per City of Lewisville Ordinances.
- b. Other fencing, such as restaurant patio enclosures is limited to 36 inches in height.

8. Sidewalks. Minimum 6-foot-wide sidewalks shall be provided along the front of buildings. Minimum 5-foot-wide sidewalks shall be provided along IH-35E. Minimum 4-foot-wide sidewalks shall be provided along all other thoroughfares designated in this PD and to connect parking lots to buildings.

9. Plaza. A minimum 4,000 square foot plaza shall be provided that roughly aligns with the paseo provided in the Multifamily 2 Subdistrict. The plaza shall contain canopy trees, decorative pavement, seating either benches or tables, trash cans, and bikes racks. Restaurants may use up to 30 percent of the plaza for outdoor patio seating

9. Permitted Setback Encroachments. Canopies and awnings may project up to two feet into the required front setback.

10. Other:

**VI. DEVELOPMENT AND DESIGN STANDARDS**

**A. Thoroughfare Plan:**

1. The Thoroughfare Plan attached as **Attachment 10** shall apply to all property within the PD.

**B. Pedestrian Network Plan:**

1. Development of the Townhome Subdistrict and the Multifamily 1 Subdistrict shall comply with the Pedestrian Network Plan attached as **Attachment 4**, as well as all City trail and park specifications.

**C. Street Sections:**

1. The street sections on **Attachment 11** are permitted in the locations shown on **Attachment 10**.
2. The typical cul-de-sac layout on **Attachment 12** is permitted in the Townhome Subdistrict.

**VIII. REQUESTED DEVIATIONS**

**A. Lot Requirement Comparison**

	<b>Lot Requirement Comparison</b>	
<b>Development Standard:</b>	<b>Required (MU Base Zoning):</b>	<b>Requested:</b>
<b>Townhome 1&amp;2 Subdistrict (Townhome Use)</b>		
Max Building Height	80 FT	38 FT
Min. Unit Size	1,200 SF excluding garages, porches, and breezeways	1,450 SF excluding garages, porches, and breezeways
Max. Lot Coverage	N/A	80%
Min. Front Setback	Max. 25 FT	Min. 7.5 FT
Min. Rear Setback	Max. 25 FT	Public Street Access 5 FT Alley Access 20 FT
Min. Side Setback	Max. 25 FT	End Unit Lots 5 FT Side yards adjacent to street 7.5 FT.
Min. Lot Width	20 FT	22 FT
Min. Lot Depth	75 FT	70 FT
Min Lot Area	1,700 SF	1,700 SF
Max. Density	N/A	7.71 Units/AC
<b>Multifamily 1 Subdistrict (Multifamily Use)</b>		
Max Building Height	80 FT	60 FT
Min. Unit Size	500 SF / Average 650 SF	500 SF / Average 650 SF
Max. Lot Coverage	N/A	50%
Min. Front Setback	Max. 25 FT	Min. 50 FT
Min. Rear Setback	Max. 25 FT	Min. 50 FT
Min. Side Setback	Max. 25 FT	50 FT

	<b>Lot Requirement Comparison</b>	
<b>Development Standard:</b>	<b>Required (MU Base Zoning):</b>	<b>Requested:</b>
Min. Lot Width	N/A	50 FT
Min. Lot Depth	N/A	50 FT
Min Lot Area	N/A	35,000 SF
Max. Density	N/A	300 units (30/AC)
<b>Multifamily 2 Subdistrict (Multifamily Use)</b>		
Max. Lot Coverage	N/A	95%
Min. Front Setback	Max. 25 FT	Max. 15 FT Min. 5 FT
Min. Rear Setback	Max. 25 FT	Min. 0 FT
Min. Side Setback	Max. 25 FT	Min. 0 FT
Min. Lot Width	N/A	Min. 50 FT
Min. Lot Depth	N/A	Min. 50 FT
Min Lot Area	N/A	2,500 SF
Max. Density	N/A	15 Units/AC
<b>Commercial Subdistrict</b>		
Max Height	80FT	80 FT
Min. Front Setback	Max. 25 FT	8 FT
Min. Rear Setback	Max. 25 FT	Min. 60 FT
Min. Side Setback	Max. 25 FT	0 FT
Min. Side Setback Corner	Max. 25 FT	Min. 8 FT
Min. Lot Width	N/A	50 FT
Min. Lot Depth	N/A	50 FT
Min Lot Area	N/A	N/A
Max. Density	N/A	Min. 55,000 SF

EXHIBIT A

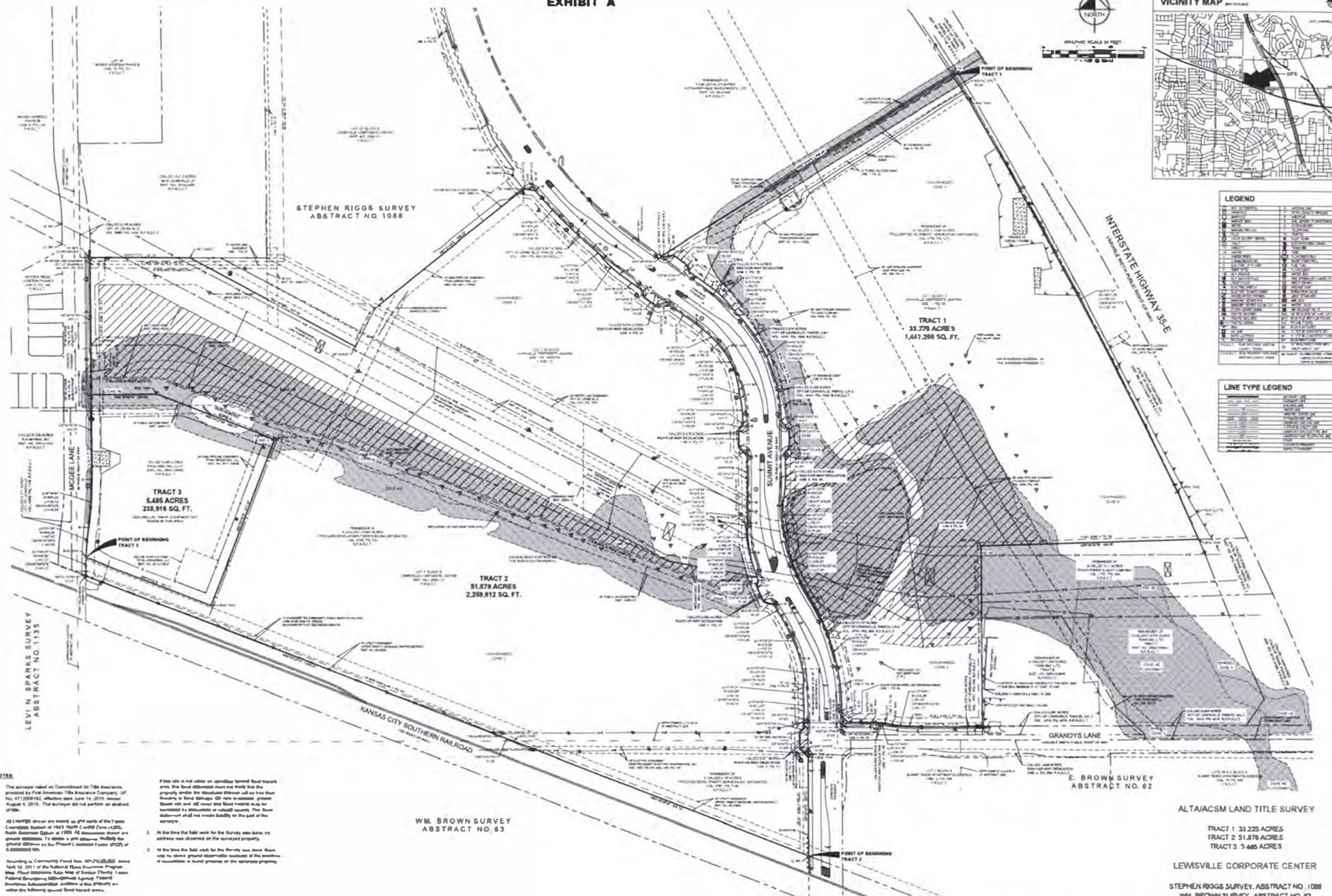


**LEGEND**

1	ALTAIACS LAND TITLE SURVEY
2	LEWISVILLE CORPORATE CENTER
3	STEPHEN RIGGS SURVEY, ABSTRACT NO. 1088
4	WM. BROWN SURVEY, ABSTRACT NO. 63
5	LEVIN SPRINGS SURVEY, ABSTRACT NO. 1135
6	GRANDY'S LANE
7	SUMMIT AVENUE
8	KANSAS CITY SOUTHERN RAILROAD
9	INTERSTATE HIGHWAY 35E
10	ACRES
11	SQ. FT.
12	POINT OF BEGINNING
13	BOUNDARY
14	ENCUMBRANCE
15	ADJACENT PROPERTY
16	EXISTING ROAD
17	PROPOSED ROAD
18	UTILITY LINE
19	WATER LINE
20	SEWER LINE
21	ELECTRIC LINE
22	TELEPHONE LINE
23	CONCRETE
24	ASPHALT
25	GRAVEL
26	DIRT
27	WOOD
28	IRON
29	COPPER
30	ZINC
31	LEAD
32	STEEL
33	ALUMINUM
34	GLASS
35	PLASTER
36	CEMENT
37	SAND
38	GRAVEL
39	CLAY
40	SILT
41	LOESS
42	SHALE
43	SANDSTONE
44	LIMESTONE
45	GNEISS
46	SLATE
47	QUARTZITE
48	AMPHIBOLITE
49	DIORITE
50	GRANITE
51	SYENITE
52	DIABASE
53	ANDESITE
54	BASALT
55	TRAP
56	LOESS
57	CLAY
58	SILT
59	SAND
60	GRAVEL
61	CONCRETE
62	ASPHALT
63	GRAVEL
64	DIRT
65	WOOD
66	IRON
67	COPPER
68	ZINC
69	LEAD
70	STEEL
71	ALUMINUM
72	GLASS
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91	ALUMINUM
92	GLASS
93	PLASTER
94	CEMENT
95	SAND
96	GRAVEL
97	CLAY
98	SILT
99	SAND
100	GRAVEL

**LINE TYPE LEGEND**

1	ALTAIACS LAND TITLE SURVEY
2	LEWISVILLE CORPORATE CENTER
3	STEPHEN RIGGS SURVEY, ABSTRACT NO. 1088
4	WM. BROWN SURVEY, ABSTRACT NO. 63
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8	KANSAS CITY SOUTHERN RAILROAD
9	INTERSTATE HIGHWAY 35E
10	ACRES
11	SQ. FT.
12	POINT OF BEGINNING
13	BOUNDARY
14	ENCUMBRANCE
15	ADJACENT PROPERTY
16	EXISTING ROAD
17	PROPOSED ROAD
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35	PLASTER
36	CEMENT
37	SAND
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39	CLAY
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41	SAND
42	GRAVEL
43	CONCRETE
44	ASPHALT
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90	ZINC
91	LEAD
92	STEEL
93	ALUMINUM
94	GLASS
95	PLASTER
96	CEMENT
97	SAND
98	GRAVEL
99	CLAY
100	SILT



**NOTES:**

- The surveyor relied on the Commission for Title Insurance, provided by First American Title Insurance Company, of the 07/20/2014, effective date June 14, 2015, issued August 4, 2015. The surveyor did not perform an abstract of title.
- All 140'WIDE shown are based on 1974 maps of the City of Lewisville, North Carolina at 1:25,000. All dimensions shown are ground dimensions. To obtain a grid dimension, multiply the ground dimension by the "Factor C" contained in Zone 1 (200) or 2 (100,000).
- According to Commission Order No. 08/15/2010 dated April 13, 2011 of the National Flood Insurance Program Map Flood Insurance Rate Map of Union County (see Federal Emergency Management Agency Flood Insurance Submittal) portion of the 07/20/14 is subject to the following special flood hazard areas:
  - Zone 1 - Areas determined to be subject to the 1% annual chance flood.
  - Zone 2 - Areas of 1% annual chance flood in which the 1% annual chance flood with average depths of one foot or less is shown, areas less than 1 square mile and areas protected by levees, less than 1% annual chance flood.
  - Zone X2 - Areas subject to inundation by the 1% annual chance flood with wave flood elevations.
- If this site is not within an unincorporated flood hazard area, this flood information does not imply that the property owner or the insurance adjuster will be the beneficiary of flood insurance. It only indicates that the flood hazard area is shown on the map. The flood insurance shall not void liability on the part of the surveyor.
- At the time the field work for the survey was done, no address was observed on the surveyed property.
- At the time the field work for the survey was done, there were no other ground observations or evidence of encumbrances or other property on the surveyed property.

WM. BROWN SURVEY  
ABSTRACT NO. 63

ALTAIACS LAND TITLE SURVEY  
TRACT 1 33.228 ACRES  
TRACT 2 51.878 ACRES  
TRACT 3 5.485 ACRES  
LEWISVILLE CORPORATE CENTER  
STEPHEN RIGGS SURVEY, ABSTRACT NO. 1088  
WM. BROWN SURVEY, ABSTRACT NO. 63  
CITY OF LEWISVILLE, DENTON COUNTY, TEXAS

DATE		REVISION	DESCRIPTION
1			
2			
3			
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6			
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8			
9			
10			

**Kimley Horn**

3701 Dewey Court, Suite 205  
Frisco, Texas 75034  
Phone: 972.272.1100  
Fax: 972.272.1101  
www.kimleyhorn.com

File No. 1872-145-0002  
Plan No. 1872-145-0774  
Sheet No. 1 of 2



# Townhome 1 Subdistrict

BEING a 29.55 acre tract of land situated in the Stephen Riggs Survey, Abstract No. 1088, and the WM. Brown Survey, Abstract No. 63, City of Lewisville, Denton County, Texas, being a portion of a called 113.581 acre tract of land conveyed by deed to Prologis Development Services Incorporated, as recorded in Volume 4738, Page 523, Deed Records, Denton County, Texas, being a portion of a called 4.186 acre tract of land conveyed by deed to Prologis Development Services Incorporated, as recorded in Volume 4781, Page 1148, Deed Records, Denton County, Texas, being a portion of Lot 3, Block B, Lewisville Corporate Center, as recorded in Instrument No. 2009-172, Plat Records, Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a found 1/2 inch iron rod for the southeast corner of said Lot 3, and at the intersection of the existing west right-of-way line of Summit Avenue (having a variable width public right-of-way), and the existing north right-of-way line of the Kansas City Southern Railroad (125 foot right-of-way);

THENCE North 69°05'10" West, along said north right-of-way line and the south line of said Lot 3, being a common line, a distance of 927.12 feet to a point;

THENCE North 68°53'53" West, continuing along said common line, a distance of 41.95 feet to a point;

THENCE North 69°03'34" West, a distance of 1,298.68 feet to a power pole, being in the intersection of said existing north right-of-way line and the existing east right-of-way line of McGee Lane (having an 80 foot right-of-way);

THENCE North 00°32'24" West, leaving said common line, along said existing east right-of-way line and the west line of said Lot 3, being a common line, a distance of 12.23 feet to a point for the beginning of a tangent curve to the right having a radius of 860.00 feet, a central angle of 2°44'26", and a long chord which bears North 00°49'49" East, 41.13 feet;

THENCE along said common line and along said tangent curve to the right, an arc length of 41.13 feet to a point, being in the south line of a 5.485 acre tract of land conveyed by deed to Prologis OGL, LP. as recorded in Instrument No. 2008-129595, Deed Records, Denton County, Texas;

THENCE South 69°03'34" East, leaving said common line, along said south line, a distance of 391.10 feet to a point;

THENCE North 20°56'26" East, along the east line of said 5.485 acre tract, a distance of 517.50 feet to a point;

THENCE North 69°03'34" West, along the north line of said 5.485 acre tract, a distance of 366.07 feet to a point;

THENCE South 89°34'53" West, continuing along said north line a distance of 193.02 feet to a point, being in said common line;

THENCE North 00°25'07" West, along said common line, leaving said north line, a distance of 142.77 feet to a point being the northwest corner of said Lot 3 and the southwest corner of Lot 2, Block B, of said Lewisville Corporate Center;

THENCE North 89°35'01" East, leaving said common line, along the north line of said Lot 3 and the south line of said Lot 2, being a common line, a distance of 250.85 feet to a point;

THENCE South 66°58'20" East, continuing along said common line, a distance of 442.62 feet to a point;

THENCE South 66°22'38" East, a distance of 1,126.25 feet to a point;

THENCE South 80°22'21" East, a distance of 263.72 feet to a point, being the northeast corner of said Lot 3 and the southeast corner of said Lot 2, for the beginning of a non-tangent curve to the right having a radius of 637.00 feet and a central angle of 0°54'41" and a long chord which bears South 14°12'15" East, 10.13 feet;

THENCE along said existing west right-of-way line and the east line of said Lot 3, being a common line, and along said non-tangent curve to the right, an arc length of 10.13 feet to a found "X" cut in the concrete;

THENCE South 20°14'26" West, continuing along said common line, a distance of 16.29 feet to a found "X" cut in the concrete;

THENCE South 24°45'34" East, a distance of 51.00 feet to a found "X" cut in the concrete;



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CONSULTING ENGINEERS & PLANNERS  
600 SIX FLAGS DRIVE, SUITE 500  
ARLINGTON, TEXAS 76011 (817) 640-8535  
TBPE FIRM: F-1191/TBPLS FIRM: 101538-00

**EXHIBIT A PROPERTY DESCRIPTION**

# Townhome 1 Subdistrict

## TOWNHOME SUBDISTRICT LEGAL DESCRIPTION (CONTINUED)

THENCE South 69°45'34" East, a distance of 34.56 feet to a found "X" cut in the concrete, for the beginning of a non-tangent curve to the right having a radius of 625.00 feet and a central angle of 3°06'59" and a long chord which bears South 30°54'01" East, 33.99 feet;

THENCE along said non-tangent curve to the right, an arc length of 33.99 feet to a found 1/2 inch iron rod for the beginning of a compound curve to the right having a radius of 525.00 feet, a central angle of 15°00'23", and a long chord which bears South 24°57'18" East, 137.11 feet;

THENCE along said compound curve to the right, an arc length of 137.50 feet to a found 1/2 inch iron rod with a cap stamped "HALFF" for the beginning of a curve to the right having a radius of 237.00 feet, a central angle of 20°47'55", and a long chord which bears South 07°03'19" East, 85.56 feet;

THENCE along said curve to the right, an arc length of 86.03 feet to a found 1/2 inch iron rod with a cap stamped "HALFF", for the beginning of a reverse curve to the left having a radius of 263.00 feet, a central angle of 7°34'25", and a long chord which bears South 00°26'20" East, 34.74 feet;

THENCE along said reverse curve to the left, an arc length of 34.77 feet to a found 1/2 inch iron rod with a cap stamped "HALFF", for the beginning of a reverse curve to the right having a radius of 513.00 feet, a central angle of 3°48'50", and a long chord which bears South 02°19'07" East, 34.14 feet;

THENCE along said reverse curve to the right an arc length of 34.15 feet to a found 1/2 inch iron rod;

THENCE South 00°24'42" East, a distance of 47.49 feet to a found "X" cut in the concrete;

THENCE South 44°35'47" West, a distance of 16.97 feet to a found "X" cut in the concrete;

THENCE South 00°24'13" East, a distance of 51.00 feet to a found 1/2 inch iron rod with a cap stamped "HALFF";

THENCE South 45°24'13" East, a distance of 33.99 feet to a found 1/2 inch iron rod with a cap stamped "KHA";

THENCE South 00°25'51" East, a distance of 287.51 feet to the POINT OF BEGINNING and CONTAINING 1,287,105 square feet, 29.55 acres of land, more or less.



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**EXHIBIT A PROPERTY DESCRIPTION**

# Townhome 2 Subdistrict

## Townhome 2 Subdistrict TRACT 5 LEGAL DESCRIPTION

BEING a 5.485 acre tract of land situated in the Stephen Riggs Survey, Abstract No. 1088, City of Lewisville, Denton County, Texas, being a portion Lot 3, Block B, Lewisville Corporate Center, as recorded in Instrument No. 2009-172, Plat Records, Denton County, Texas, being a tract of land conveyed by deed to Prologis OGL, LP, as recorded in Instrument No. 2008-129595, Deed Records, Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a found 1/2 inch iron rod with a cap stamped "GRAHAM ASSOC INC"(GAI), being in the west line of said Lot 3, being in the west line of Lot 79X, Block C, Heritage Trail Addition, as recorded in Document No. 2020-15, Plat Records, Denton County, Texas, and being in the existing east right-of-way line of McGee Lane (having a 80 foot right-of-way), for the beginning of a curve to the right having a radius of 860.00 feet, a central angle of 5°51'36", and a long chord which bears North 05°07'50" East, 87.92 feet;

THENCE along said existing east right-of-way line and said west line of Lot 3, being a common line, and along said curve to the right, an arc length of 87.96 feet to a point, for the beginning of the reverse curve to the left having a radius of 940.00 feet, a central angle of 8°28'44", and a long chord which bears North 03°49'15" East, 138.98 feet;

THENCE continuing along said common line and along said reverse curve to the left, an arc length of 139.11 feet to a point;

THENCE North 00°25'07" West, a distance of 246.73 feet to a found 1/2 inch iron rod with "GAI" cap, being in the south right-of-way line of an existing variable width right-of-way, as recorded in Document No. 2020-15, Plat Records, Denton County, Texas;

THENCE North 89°34'53" East, leaving said common line, along said south right-of-way line, a distance of 193.02 feet to a found 1/2 inch iron rod with "GAI" cap;

THENCE South 69°03'34" East, continuing along said south right-of-way line, a distance of 366.07 feet to a found 1/2 inch iron rod with "GAI" cap;

THENCE South 20°56'26" West, leaving said south right-of-way line, along the west line of said Heritage Trail Addition plat, a distance of 517.50 feet to a found 1/2 inch iron rod with "GAI" cap, being in said west line of Lot 79X;

THENCE North 69°03'34" West, along said west line of Lot 79X, a distance of 391.10 feet to the POINT OF BEGINNING and CONTAINING 238,924 square feet, 5.485 acres of land, more or less.

# Multifamily 1 Subdistrict

## MULTIFAMILY SUBDISTRICT 1 LEGAL DESCRIPTION

BEING a 22.33 acre tract of land situated in the Stephen Riggs Survey, Abstract No. 1088, and the WM. Brown Survey, Abstract No. 63, City of Lewisville, Denton County, Texas, being a portion of a called 113.581 acre tract of land conveyed by deed to Prologis Development Services Incorporated, as recorded in Volume 4738, Page 523, Deed Records, Denton County, Texas, being Lot 2, Block B, Lewisville Corporate Center, as recorded in Instrument No. 2009-172, Plat Records, Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a found aluminum disc stamped with "USACE" for the north corner of said Lot 2, being in the south line of Lot 1R, Block B, of said Lewisville Corporate Center, and being in the existing west right-of-way line of Summit Avenue (having a variable width public right-of-way);

THENCE South 38°28'27" East, along said existing west right-of-way line, a distance of 0.50 feet to a point;

THENCE South 83°28'27" East, continuing along said existing west right-of-way line, a distance of 34.19 feet to a point, for the beginning of a non-tangent curve to the left having a radius of 1350.00 feet and a central angle of 9°58'37" and a long chord which bears South 45°34'17" East, 234.78 feet;

THENCE along said non-tangent curve to the left, an arc length of 235.08 feet to a point, for the beginning of a reverse curve to the right having a radius of 237.00 feet, a central angle of 10°27'47", and a long chord which bears South 45°19'44" East, 43.22 feet;

THENCE along said reverse curve to the right, an arc length of 43.28 feet to a point, for the beginning of a reverse curve to the left having a radius of 263.00 feet, a central angle of 14°33'17", and a long chord which bears South 47°22'29" East, 66.63 feet;

THENCE along said reverse curve to the left, an arc length of 66.81 feet to a point;

THENCE South 54°39'07" East, a distance of 82.50 feet to a point;

THENCE South 09°39'07" East, a distance of 16.97 feet to a point;

THENCE South 54°39'07" East, a distance of 51.00 feet to a point;

THENCE North 79°50'24" East, a distance of 33.94 feet to a point;

THENCE South 54°39'07" East, a distance of 97.12 feet to a point for the beginning of a tangent curve to the right having a radius of 350.00 feet, a central angle of 18°20'21", and a long chord which bears South 45°28'56" East, 111.55 feet;

THENCE along said tangent curve to the right, an arc length of 112.03 feet to a point, for the beginning of a compound curve to the right having a radius of 237.00 feet and a central angle of 29°24'53" and a long chord which bears South 21°36'18" East, 120.34 feet;

THENCE along said compound curve to the right, an arc length of 121.67 feet to a point, for the beginning of a reverse curve to the left having a radius of 263.00 feet, a central angle of 5°17'51", and a long chord which bears South 09°32'46" East, 24.31 feet;

THENCE along said reverse curve to the left, an arc length of 24.32 feet to a point, for the beginning of a reverse curve to the right having a radius of 338.00 feet, a central angle of 11°47'00", and a long chord which bears South 06°18'12" East, 69.39 feet;

THENCE along said reverse curve to the right, an arc length of 69.51 feet to a point;

THENCE South 00°24'42" East, a distance of 10.31 feet to a point;

THENCE South 44°35'18" West, a distance of 16.97 feet to a point;

THENCE South 00°24'42" East, a distance of 51.00 feet to a point;

THENCE South 45°24'42" East, a distance of 33.94 feet to a point;



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**EXHIBIT A PROPERTY DESCRIPTION**

# Multifamily 1 Subdistrict

## MULTIFAMILY SUBDISTRICT 1 LEGAL DESCRIPTION (CONTINUED)

THENCE South 00°24'42" East, a distance of 133.91 feet to a point for the beginning of a tangent curve to the left having a radius of 625.00 feet, a central angle of 2°19'57", and a long chord which bears South 01°34'40" East, 25.44 feet;

THENCE along said tangent curve to the left, an arc length of 25.44 feet to a point, for the beginning of a reverse curve to the right having a radius of 237.00 feet, a central angle of 8°12'35", and a long chord which bears South 01°21'39" West, 33.93 feet;

THENCE along said reverse curve to the right, an arc length of 33.96 feet to a point, for the beginning of a reverse curve to the left having a radius of 263.00 feet, a central angle of 19°12'47", and a long chord which bears South 04°08'31" East, 87.78 feet;

THENCE along said reverse curve to the left, an arc length of 88.19 feet to a point, for the beginning of a reverse curve to the right having a radius of 637.00 feet, a central angle of 6°46'03", and a long chord which bears South 18°02'37" East, 75.20 feet;

THENCE along said reverse curve to the right, an arc length of 75.24 feet to a point, being the southeast corner of said Lot 2 and the northeast corner of Lot 3, Block B, of said Lewisville Corporate Center;

THENCE North 80°22'21" West, leaving said existing west right-of-way line, along the north line of said Lot 3, a distance of 263.72 feet to a point;

THENCE North 66°22'38" West, continuing along the north line of said Lot 3, a distance of 1,126.25 feet to a point;

THENCE North 66°58'20" West, a distance of 442.62 feet to a point;

THENCE South 89°35'01" West, a distance of 250.85 feet to a point, being the northwest corner of said Lot 3 and in the existing east right-of-way line of McGee Lane (having a 80 foot public right-of-way);

THENCE North 00°25'07" West, along said existing east right-of-way line a distance of 254.40 feet to a found 1/2 inch iron rod with cap stamped "Gorronдона", being the southeast corner of a called 0.146 acre tract of land conveyed by deed to the City of Lewisville, as recorded in Volume 5065, Page 1426, Deed Records, Denton County, Texas, and being the southwest corner of a called 10.019 acre tract of land conveyed by deed to MAS Lewisville, LP., as recorded in Instrument No. 2003-66085, Deed Records, Denton County, Texas;

THENCE South 89°58'08" East, along the south line of said 10.019 acre tract, a distance of 291.66 feet to a found aluminum disc stamped with "USACE";

THENCE South 62°04'38" East, along the south line of said Lot 1R, a distance of 547.11 feet to a found aluminum disc stamped with "USACE";

THENCE North 27°09'30" East, continuing along the south line of said Lot 1R, a distance of 123.94 feet to a found aluminum disc stamped with "USACE";

THENCE North 51°32'59" East, a distance of 556.14 feet to the POINT OF BEGINNING and CONTAINING 972,664 square feet, 22.33 acres of land, more or less.



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**EXHIBIT A PROPERTY DESCRIPTION**

# Multifamily 2 Subdistrict

## MULTIFAMILY SUBDISTRICT 2 LEGAL DESCRIPTION

BEING a 26.58 acre tract of land situated in the Stephen Riggs Survey, Abstract No. 1088, City of Lewisville, Denton County, Texas, being a portion of Lot 1, Block A, Lewisville Corporate Center, as recorded in Cabinet V, Page 59, Plat Records, Denton County, Texas, being a tract of land conveyed by deed to Field Street Development I, Ltd., a Texas limited partnership, as to a 57% undivided interest, FLCT, Ltd., a Texas limited partnership, as to a 16% undivided interest, and NSHE TX Alpha Accommodation, LLC, a Texas limited liability company, as to a 27% undivided interest, as recorded in Instrument No. 2015-135500, Deed Records, Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at the most western northwest corner of said Lot 1, being in the west line of the remainder of a tract of land called 66.376 acres conveyed by deed to Alpha-Republic Investments, LTD, as recorded in Instrument No. 2000-61835, Deed Records, Denton County, Texas, and being in the existing east right-of-way line of Summit Avenue (having a variable width public right-of-way);

THENCE North 58°12'30" East, along the north line of said Lot 1, a distance of 794.93 feet to a point;

THENCE South 31°47'30" East, a distance of 692.89 feet to a point;

THENCE South 26°33'37" East, a distance of 728.42 feet to a point, being in the south line of said Lot 1 and the north line of a tract of land conveyed by deed to Texas Power & Light Co., as recorded in Volume 1107, Page 899, Deed Records, Denton County, Texas, being a common line;

THENCE South 88°03'44" West, along said common line, a distance of 428.68 feet to a point;

THENCE South 00°37'02" East, continuing along said south line, a distance of 525.29 feet to a point, being the southwest corner of Tract 2 conveyed by deed to Team ABC LTD., as recorded in Instrument No. 2005-109866, Deed Records, Denton County, Texas, and being in the existing north right-of-way line of Grandys Lane (having a variable width public right-of-way);

THENCE South 89°35'40" West, continuing along said south line and along said existing north right-of-way line, being a common line, a distance of 213.78 feet to a point, for the beginning of a tangent curve to the right having a radius of 234.00 feet, a central angle of 12°34'41", and a long chord which bears North 84°06'59" West, 51.27 feet;

THENCE continuing along said common line and along said tangent curve to the right, an arc length of 51.37 feet to a point, for the beginning of a reverse curve to the left having a radius of 266.00 feet, a central angle of 12°34'41", and a long chord which bears North 84°06'59" West, 58.28 feet;

THENCE along said reverse curve to the left, an arc length of 58.39 feet to a point;

THENCE South 89°35'40" West, a distance of 69.00 feet to a point, being in the intersection of said existing north right-of-way line and said existing east right-of-way line;

THENCE North 45°24'34" West, leaving said common line, along said existing east right-of-way line and the west line of said Lot 1, being a common line, a distance of 25.46 feet to a point;

THENCE North 00°24'49" West, along said common line, a distance of 15.01 feet to a point, for the beginning of a tangent curve to the left having a radius of 625.00 feet, a central angle of 32°02'48", and a long chord which bears North 16°26'13" West, 345.04 feet;

THENCE along said tangent curve to the left, continuing along said common line, an arc length of 349.58 feet to a point, for the beginning of a reverse curve to the right having a radius of 525.00 feet, a central angle of 25°00'50", and a long chord which bears North 19°57'12" West, 227.39 feet;

THENCE along said reverse curve to the right, an arc length of 229.20 feet to a point, for the beginning of a compound curve to the right having a radius of 237.00 feet and a central angle of 18°24'53" and a long chord which bears North 01°45'39" East, 75.84 feet;



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**EXHIBIT A PROPERTY DESCRIPTION**

# Commercial Subdistrict

## Commercial Subdistrict TRACT 4 LEGAL DESCRIPTION

BEING a 26.58 acre tract of land situated in the Stephen Riggs Survey, Abstract No. 1088, City of Lewisville, Denton County, Texas, being a portion of Lot 1, Block A, Lewisville Corporate Center as recorded in Cabinet V, Page 59, Plat Records, Denton County, Texas, being a tract of land conveyed by deed to Field Street Development I, Ltd., a Texas limited partnership, as to a 57% undivided interest, FLCT, Ltd., a Texas limited partnership, as to a 16% undivided interest, and NSHE TX Alpha Accommodation, LLC, a Texas limited liability company, as to a 27% undivided interest, as recorded in Instrument No. 2015-135500, Deed Records, Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at the most eastern northeast corner of said Field Street Development I, Ltd. tract, being in the north line of said Lot 1 and being in the existing west right-of-way line of Interstate Highway 35-E (having a variable width public right-of-way);

THENCE South  $33^{\circ}42'37''$  East, along said existing west right-of-way line and along the east line of said Field Street Development I, Ltd. tract, being a common line, a distance of 85.68 feet to a point, for the beginning of a tangent curve to the right having a radius of 18,321.00 feet and a central angle of  $4^{\circ}01'34''$  and a long chord which bears South  $28^{\circ}43'35''$  East, 1,287.16 feet;

THENCE continuing along said common line and along said tangent curve to the right, an arc length of 1,287.42 feet to a point;

THENCE South  $24^{\circ}22'45''$  East, a distance of 154.27 feet to a point, being in the south line of said Lot 1 and being in the north line of a tract of land conveyed by deed to Texas Power & Light Co., as recorded in Volume 1107, Page 899, Deed Records, Denton County, Texas;

THENCE South  $88^{\circ}03'44''$  West, leaving said common line, along said south line and along said north line, a distance of 212.27 feet to a point;

THENCE North  $26^{\circ}33'37''$  West, a distance of 728.42 feet to a point;

THENCE North  $31^{\circ}47'30''$  West, a distance of 692.89 feet to a point, being in the north line of said Lot 1;

THENCE North  $58^{\circ}12'30''$  East, along said north line, a distance of 203.55 feet to the POINT OF BEGINNING and CONTAINING 289,245 square feet, 6.640 acres of land, more or less.

## EXHIBIT A PROPERTY DESCRIPTION



CAUTION:  
 EXISTING UTILITIES AND UNDERGROUND FACILITIES OF THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION AND AS-BUILT PLANS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION.

TOWNHOME SUBDISTRICT PARKING SUMMARY  
 SPACES 23  
 ADA SPACES 3  
 TOTAL SPACES: 26

TOWNHOME 2 SUBDISTRICT

TOWNHOME 1 SUBDISTRICT

MULTIFAMILY 1 SUBDISTRICT

MULTIFAMILY 2 SUBDISTRICT

COMMERCIAL SUBDISTRICT

**LEGEND**

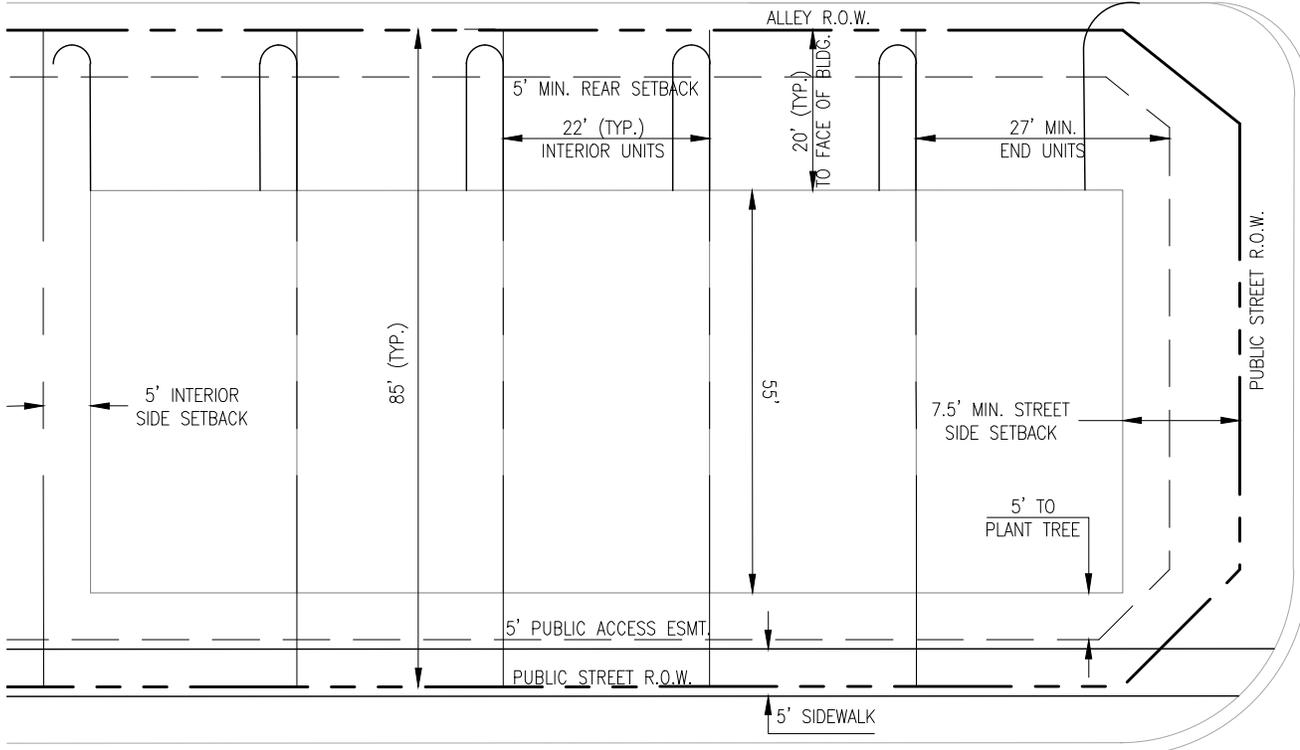
-  BUILDING LOCATIONS
-  OPEN SPACE
-  DETENTION/RETENTION PONDS (LOCATION SUBJECT TO CHANGE WITH ENGINEERING APPROVAL)
-  TOWNHOME LOTS

**NOTE:**  
 REFERENCE SECTION VI(H) OF PLANNED DEVELOPMENT FOR MINIMUM PARKING REQUIREMENTS FOR EACH TRACT.

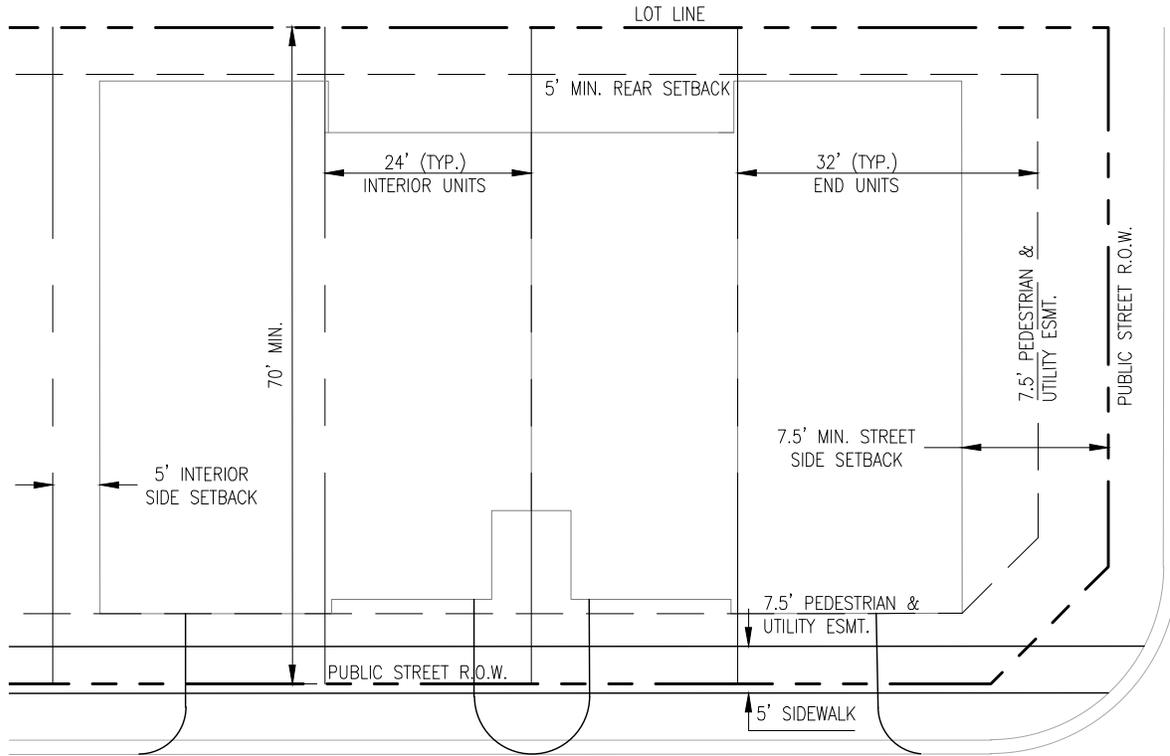


<b>THE VILLAGE AT LEWISVILLE</b>		
<b>LAND USE REGULATIONS CITY OF LEWISVILLE, DENTON COUNTY, TEXAS</b>		
 <b>Graham Associates, Inc.</b> CONSULTING ENGINEERS & PLANNERS <small>800 SIX FLAGS DRIVE, SUITE 500                  ARLINGTON, TEXAS 76011 (817) 640-8835                  TSP# FIRM: F-1191/TSP#S FIRM: 101538-00</small>		
DRAWN BY: As-Noted	PROJECT NO. 2607-1067	SHEET
DATE: 10/1/2018	SHEET 1 OF 1	<b>2</b>

PLOTTED BY: JOSH STEIGER  
 PLOTTED ON: 1/7/2020, 11:28 AM  
 FILE NAME: J:\LEWISVILLE\LEWISVILLE\CAO\EXHIBITS\EXHIBIT C CONCEPT PLAN.DWG  
 SHEET SIZE: ANSI FULL BLEED D (34.00 X 22.00 INCHES) 1" = 1"



**REAR ENTRY TOWNHOME**  
**TYPICAL LOT LAYOUT**  
 N.T.S.



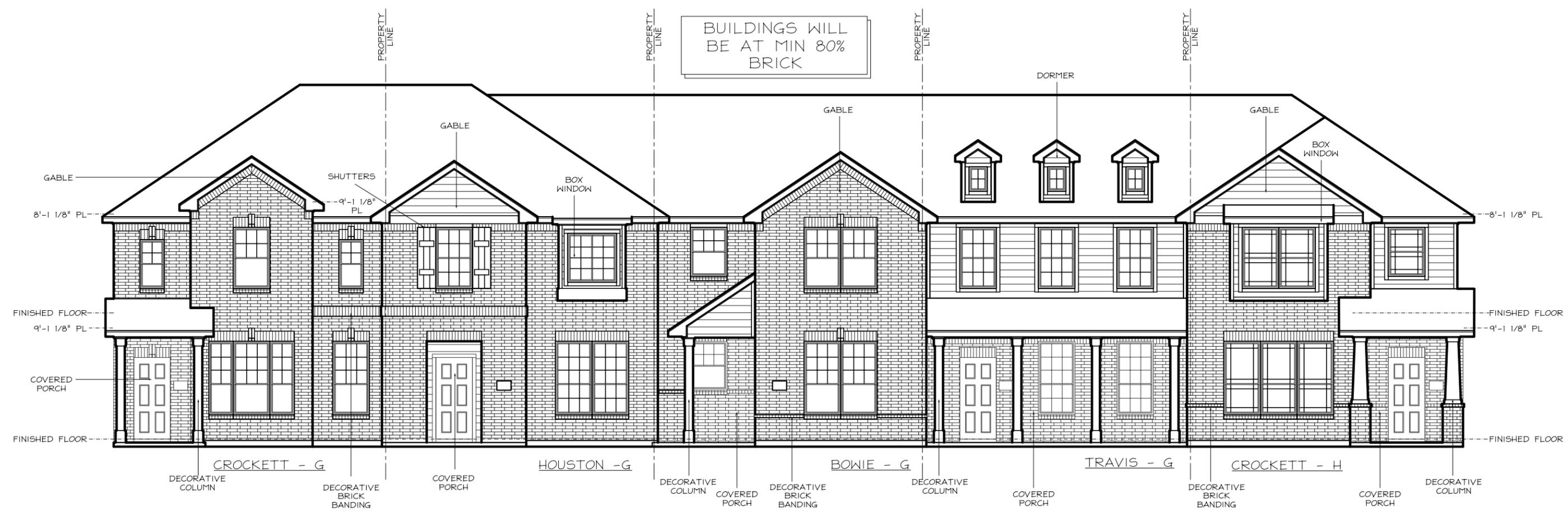
**FRONT ENTRY TOWNHOME**  
**TYPICAL LOT LAYOUT**  
 N.T.S.



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**ATTACHMENT 2**  
**TOWNHOME 1 & 2 SUBDISTRICT**  
**TYPICAL TOWNHOME LOT LAYOUT**

BUILDINGS WILL BE AT MIN 80% BRICK



PRELIMINARY BUILDING ELEVATION

ATTACHMENT 3 TOWNHOME 1&2 SUBDISTRICT ELEVATIONS

THE AGGREGATE TOTAL OF ALL EXTERIOR WALLS ELEVATIONS (EXCLUDING DOORS AND WINDOWS AND ANYTHING ABOVE THE ROOF LINE) ON A BUILDING SHALL CONSIST OF NOT LESS THAN 80 PERCENT BRICK VENEER. AREAS ABOVE THE ROOF LINE MAY BE CONSTRUCTED OF FIBER BOARD OR STUCCO. NO OTHER EXTERIOR FINISH MATERIAL REQUIREMENTS SHALL APPLY.



WINDOWS TO BE ADDED TO ALL FRONT ENTRY GARAGES

ATTACHMENT 3 TOWNHOME 1&2 SUBDISTRICT ELEVATIONS

**LEGEND**

- 1 PEDESTRIAN BRIDGE
- 2 TRAIL ENTRY
- 3 TOWNHOME CLUB AMENITIES
- 4 TOWNHOME PRIVATE PARK
- 5 WETLAND
- 6 MULTI-FAMILY AMENITIES
- 7 MULTI-FAMILY PUBLIC PARK
- 8 PUBLIC PARK & WATER DETENTION
- 9 NATURAL STONE EDGE
- 10 BOARDWALK
- 11 NRP DEVELOPMENT



**ATTACHMENT 4**

**SUMMIT AVE. STREETSCAPE & PARK MASTERPLAN**

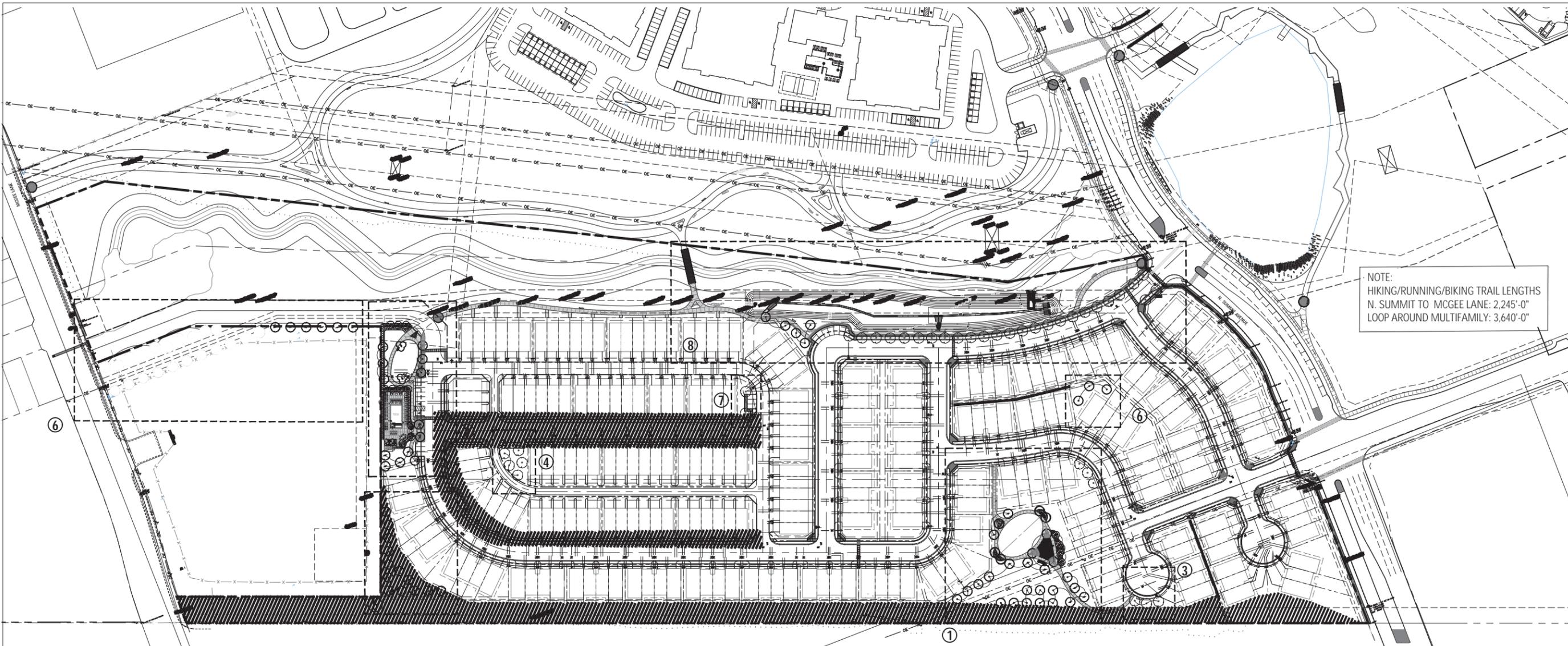
**HERITAGE TRAILS - HUFFINES**  
LEWISVILLE, TEXAS

**Talley Associates**  
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**James Pole**  
Professional Engineer, PE  
19000 W. PARKWAY, SUITE 100  
DALLAS, TEXAS 75248  
Tel. 214-871-7900  
Fax. 214-871-7985

ATTACHMENT #5: TOWNHOME ALTERNATIVE PLANTING PLAN  
ATTACHMENT #6: TOWNHOME SUB-DISTRICT AND MULTIFAMILY 1 SUB-DISTRICT OPEN SPACE & TRAIL PLAN

ATTACHMENT #11: PEDESTRIAN NETWORK PLAN



**A SITE PLAN**  
Scale: 1" = 100'-0"

**PLANT LIST**

Sym.	Qty.	Common Name	Botanical Name	Size & Remarks
<b>TREES</b>				
AR	10	October Glory Maple	<i>Acer rubrum 'October Glory'</i>	100 Gal., Min. 3" Cal., Container Grown
GB	04	Ginkgo 'Autumn Gold'	<i>Ginkgo biloba</i>	100 Gal., Min. 3" Cal.
PC	43	Sycamore	<i>Platanus occidentalis</i>	100 Gal., Min. 3" Cal., Container Grown
OT	03	Red Oak	<i>Quercus tesana</i>	100 Gal., Min. 3" Cal., Container Grown
QV	51	Live Oak 'Catheral'	<i>Quercus virginia</i>	100 Gal., Min. 3" Cal., Container Grown
UC	19	Cedar Elm	<i>Ulmus crassifolia</i>	100 Gal., Min. 3" Cal., Container Grown
VA	14	Vitex tree	<i>Vitex agnus-castus</i>	45 Gal., 8' ht., 8' Spr., Multi-trunk, Container Grown
UC 1	02	Cedar Elm	<i>Ulmus crassifolia</i>	Min. 6" Cal., Triple Trunk, Min. 20' Height
<b>SHRUBS</b>				
AG	24	Abelia	<i>Abelia x chinensis 'Rose Creek'</i>	5 gal., @ 36" o.c., Full
IC	252	Dwarf Burford Holly	<i>Ilex cornuta 'Dwarf Burford'</i>	15 gal., 4' Height at time of planting, @ 42" o.c., Full
IV	160	Dwarf Yaupon Holly	<i>Ilex vomitoria 'Nana'</i>	3 gal., @ 36" o.c., Full
LF	36	Texas Sage	<i>Leucophyllum frutescens 'Desperado'</i>	7 gal., @ 42" o.c., Full
LS	10	Sunshine Ligustrum	<i>Ligustrum sinense 'Sunshine'</i>	3 gal., @ 30" o.c., Full
MC	86	Gulf Muhly	<i>Muhlenbergia carprillarlis</i>	3 gal., @ 42" o.c., Full
MS	27	Maiden Grass	<i>Miscanthus sinensis 'Adagio'</i>	3 gal., @ 36" o.c., Full
ND	10	Gulf Stream Nandina	<i>Nandina domestica 'Gulf Stream'</i>	3 gal., @ 24" o.c., Full
PA	61	Dwarf Fountain Grass	<i>Pennisetum alopecuroides 'Hameln'</i>	1 gal., @ 18" o.c., Full
SF	37	Salvia 'Henry Duelberg'	<i>Salvia farnacea 'Henry Duelberg'</i>	3 gal., @ 42" o.c., Full
SG	56	Autumn Sage 'Dark Pink'	<i>Salvia greggii</i>	3 gal., @ 36" o.c., Full
SS	14	Pink Skull Cap	<i>Scutellaria suffrutescens</i>	3 gal., @ 24" o.c., Full
<b>GROUNDCOVER/ VINES</b>				
EC	163	Weeping Love Grass	<i>Eragrostis curvula</i>	1 Gal., @ 18" o.c., Full
LM	37	New Blue Liriope	<i>Liriope muscari 'New Blue'</i>	1 gal., @ 18" o.c., Full
NT	538	Mexican Feather Grass	<i>Nassella tenuissima</i>	1 gal., @ 18" o.c., Full

**ATTACHMENT 5 TOWNHOME 1 SUBDISTRICT PLANTING PLAN**

Project No.	18059.02
Drawn By:	AC, MB
Checked By:	XX
Date:	JULY 29, 2019
Issued:	#01 AUG. 30, 2019
Issued:	#02 NOV. 7, 2019
Issued:	
Revisions:	
	△
	△
	△
	△
	△

Sheet Title:  
**PLANTING PLAN**  
**L-303**  
Sheet No.:

NOT FOR CONSTRUCTION

CAUTION:  
 EXISTING UTILITIES AND UNDERGROUND FACILITIES OF THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION AND AS-BUILT PLANS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION.



- LEGEND**
- WOODEN FENCING
  - STEEL PICKET FENCING

**NOTE:**  
 REFERENCE SECTION VI(H) OF PLANNED DEVELOPMENT FOR MINIMUM PARKING REQUIREMENTS FOR EACH TRACT.



<b>THE VILLAGE AT LEWISVILLE</b>		
<b>ATTACHMENT 6 FENCING PLAN</b>		
LAND USE REGULATIONS CITY OF LEWISVILLE, DENTON COUNTY, TEXAS		
<b>Graham Associates, Inc.</b> CONSULTING ENGINEERS & PLANNERS <small>600 SIX FLAGS DRIVE, SUITE 500          ARLINGTON, TEXAS 76011   (817) 544-3535          TBP# FRM: F-1191/TBPLS FRM: 101538-00</small>		
DRAWN BY: As-Noted	PROJECT NO. 2607-1067	SHEET
DATE: 10/1/2018	SHEET 1 OF 1	<b>2</b>

PLOTTED BY: JOSH STEDER  
 PLOTTED ON: 1/22/2020 2:09 PM  
 FILE NAME: \\LEWISVILLE\LEWISVILLE\LEWISVILLE\PD EXHIBITS\ATTACHMENT 7 FENCING PLANNING  
 SHEET SIZE: ANSI FULL BLEED D (34.00 X 22.00 INCHES) 1" = 1'



ELEVATION  
**FRONT LOT FENCING**

— X — Fencing Adjacent to Residential Road



ELEVATION  
**REAR & INTERIOR SIDYARD FENCING**

— X — Standard Screening  
(All posts to be 2 3/8" diam. 13 gauge galv. steel w/cap; steel posts and caps not to be visible from street; pickets to be butted 1x6 cedar; all fences to have pressure treated 2x4 horiz. rails on lot side and 1x4 cedar horiz. rails on street side w/2x8 cedar cap)



ELEVATION  
**SIDE AND REAR YARD FENCE  
(ADJACENT TO PUBLIC OPEN SPACE)**

— X — Open Space Screening  
(Steel Picket Fence between 6' to 8' heights with 4' Gate, No Column; Lot adjacent to Army Corp of Engineers property DO NOT install gate)



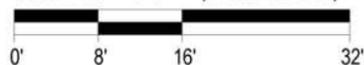
FRONT ELEVATION



SIDE ELEVATION

ATTACHMENT 7 MULTIFAMILY SUBDISTRICT 1 ELEVATIONS

SCALE: 1/8" = 1'-0" (24"x36" SHEET)





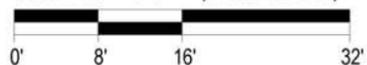
REAR ELEVATION - BLDG I & II



REAR ELEVATION - BLDG III

ATTACHMENT 7 MULTIFAMILY SUBDISTRICT 1 ELEVATIONS

SCALE: 1/8" = 1'-0" (24"x36" SHEET)

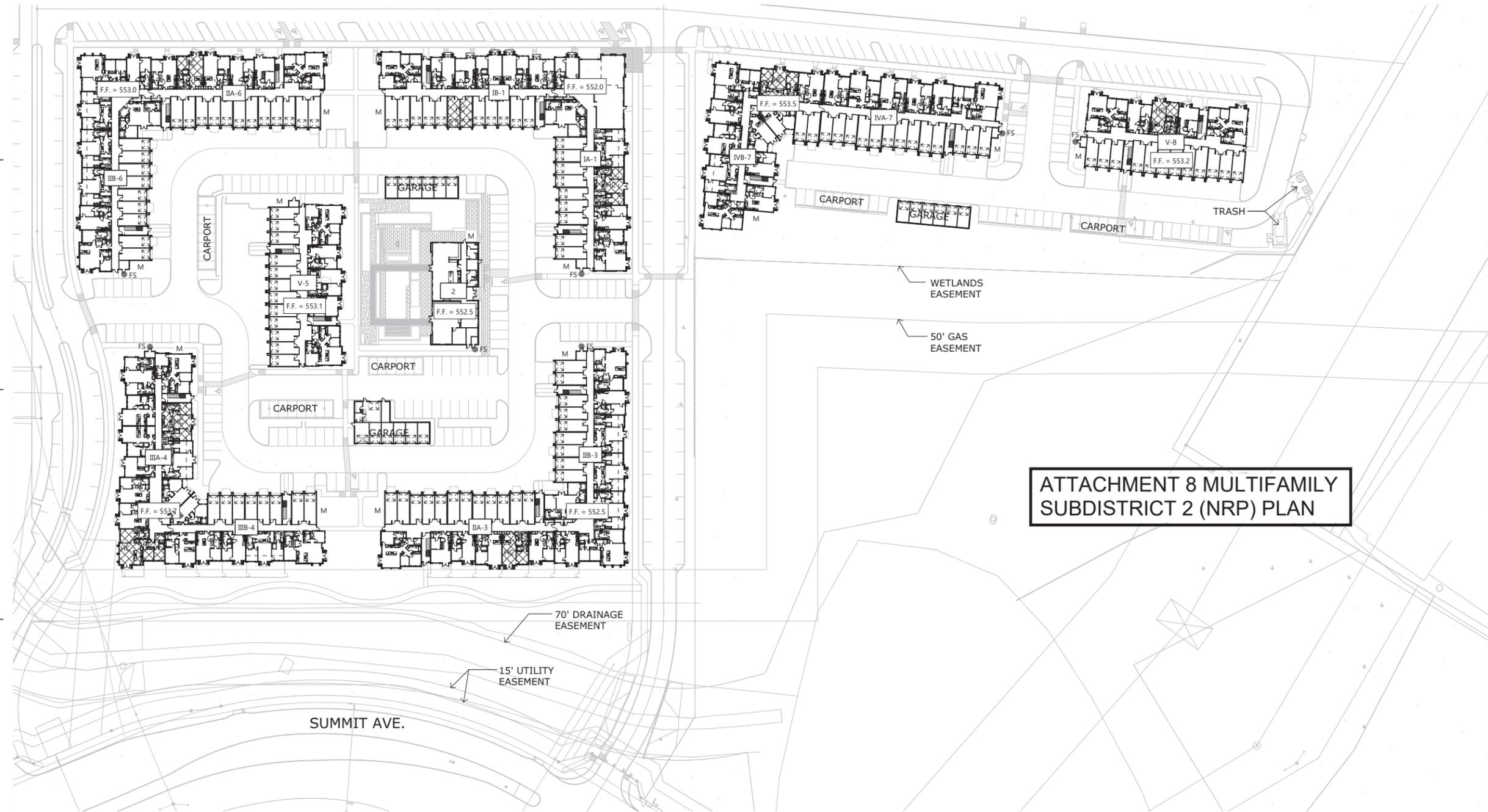




06 VICINITY MAP  
 NOT TO SCALE

- NOTES:
- REFER TO OWNER'S CONSULTANTS CIVIL DRAWINGS PREPARED BY CROSS ENGINEERING FOR GRADING, DIMENSIONAL CONTROL, UTILITIES, PAVING SPECIFICATIONS AND PARKING QUANTITIES AND LAYOUT DETAILS.
  - REFER TO OWNERS GEOTECHNICAL CONSULTANT FOR SOIL PREP REQUIREMENTS OF SUBGRADE.
  - REFER TO OWNER'S CONSULTANTS LANDSCAPE ARCHITECTS DRAWINGS FOR ALL INFORMATION RELATING TO POOL LAYOUT AND DETAILING, SIDEWALKS, FENCING, PLANTING AND SCREENING AREAS.
- INDICATES BUILDING NUMBER
  - INDICATES BUILDING TYPE / FIRE AREA
  - PROPERTY LINES
  - INDICATES HANDICAP PARKING SPACES, VERIFY W/ CIVIL DRWGS FOR SURFACE PARKING
  - FS INDICATES SPRINKLER CLOSET LOCATION
  - INDICATES TYPE "A" HANDICAP UNITS
  - M INDICATES METER LOCATIONS, REF. MEP
  - T INDICATES TRANSFORMER LOCATIONS, REF. MEP

04 Site General Notes and Legend



**ATTACHMENT 8 MULTIFAMILY  
 SUBDISTRICT 2 (NRP) PLAN**

**The Village at Lewisville**  
 Lewisville, Texas

25 Architectural Site Plan  
 Scale: 1" = 40'  
 (ADDITIONAL DATA)

NRP Group

Project Number: 2018035  
 Drawn By: mbrown  
 Issue for: \*\*\*\*\*

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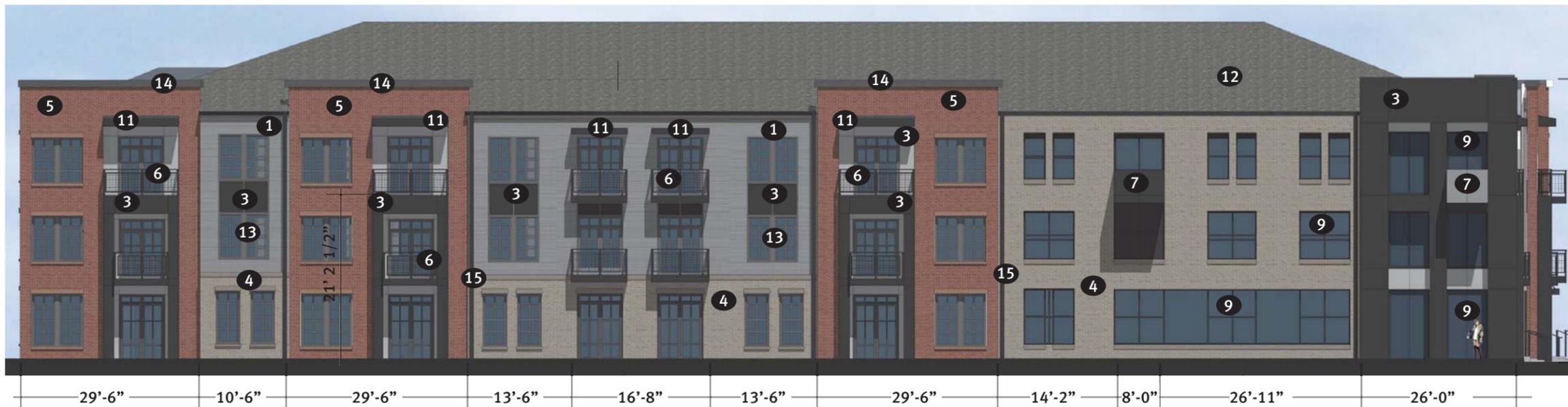
Revision	Date
01 - WIP01 - WIP	01 - WIP



**02** Building Type I - North Elevation  
Scale 1/8" = 1' - 0"

**MATERIAL LEGEND**

- 1 4" Cementitious Siding
- 2 4" and 8" Alternating Cementitious Siding
- 3 Cementitious Panel - Rainscreen  
Installation with Reveal Channels
- 4 Brick Masonry 1
- 5 Brick Masonry 2
- 6 Tube Steel with Pickets and 3"x3"  
Mesh Infill
- 7 Metal Cladded Balcony
- 8 Metal Sunshade with Tiebacks
- 9 Storefront
- 10 Garage
- 11 Wood Truss Awning with Cementitious  
Fascia and Soffit
- 12 Composition Shingle Roofing
- 13 Vinyl Windows ( Color: Clay)
- 14 Metal Coping
- 15 Downspouts



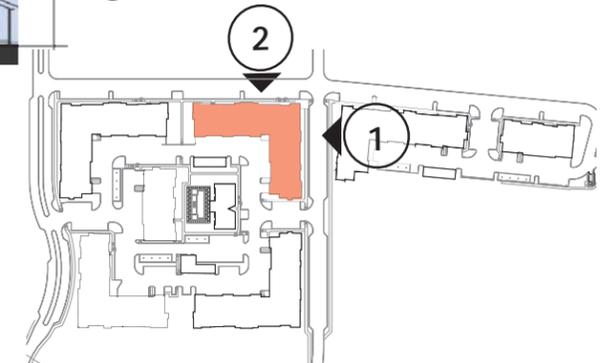
**01** Building Type I - East Elevation  
Scale 1/8" = 1' - 0"

Material Percentages : East Elevation Bldg Type I			
Material	Percentage	Total	
Brick	55%	55%	Non-Masonry Masonry
Cementitious Siding	19%		
Cementitious Panel	26%	45%	Non-Masonry
Total (%)	100%	100%	
Glazing (%)		26.63%	

Note: Total Material percentage does not include glazing.

Material Percentages : North Elevation Bldg Type I			
Material	Percentage	Total	
Brick	42%	42%	Non-Masonry Masonry
Cementitious Siding	31%		
Cementitious Panel	27%	58%	Non-Masonry
Total (%)	100%	100%	
Glazing (%)		26.01%	

Note: Total Material percentage does not include glazing.



**Key plan**





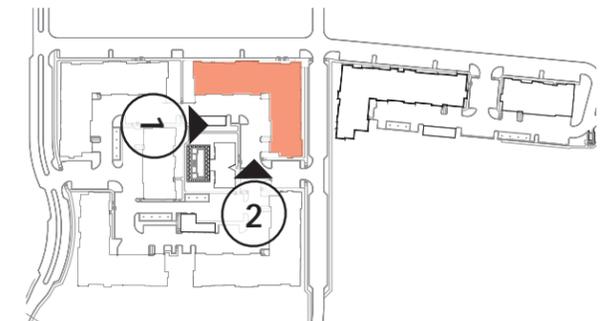
**02** Building Type I - South Elevation  
Scale 1/8" = 1' - 0"



**01** Building Type I - West Elevation  
Scale 1/8" = 1' - 0"

**MATERIAL LEGEND**

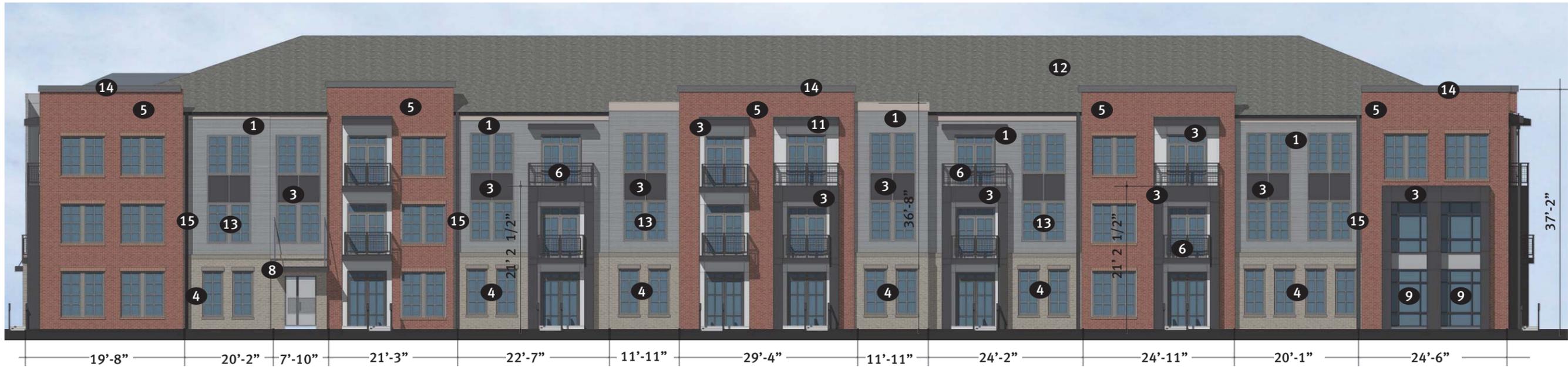
- 1 4" Cementitious Siding
- 2 4" and 8" Alternating Cementitious Siding
- 3 Cementitious Panel - Rainscreen  
Installation with Reveal Channels
- 4 Brick Masonry 1
- 5 Brick Masonry 2
- 6 Tube Steel with Pickets and 3"x3"  
Mesh Infill
- 7 Metal Cladded Balcony
- 8 Metal Sunshade with Tiebacks
- 9 Storefront
- 10 Garage
- 11 Wood Truss Awning with Cementitious  
Fascia and Soffit
- 12 Composition Shingle Roofing
- 13 Vinyl Windows ( Color: Clay)
- 14 Metal Coping
- 15 Downspouts



**Key plan**

Material Percentages : South Elevation Bldg Type I			
Material	Percentage	Total	
Brick	17%	17%	Non-Masonry
Cementitious Siding	71%		
Cementitious Panel	12%	83%	
<b>Total (%)</b>	<b>100%</b>	<b>100%</b>	

Material Percentages : West Elevation Bldg Type I			
Material	Percentage	Total	
Brick	10%	10%	Masonry
Cementitious Siding	80%		
Cementitious Panel	10%	90%	Non-Masonry
<b>Total (%)</b>	<b>100%</b>	<b>100%</b>	



**02** Building Type II - North Elevation  
Scale 1/8" = 1' - 0"



**01** Building Type II - West Elevation  
Scale 1/8" = 1' - 0"

Material Percentages : North Elevation Bldg Type II			
Material	Percentage	Total	
Brick	55%	55%	Non-Masonry Masonry
Cementitious Siding	25%		
Cementitious Panel	20%	45%	
Total (%)	100%	100%	
Glazing (%)		27.93%	

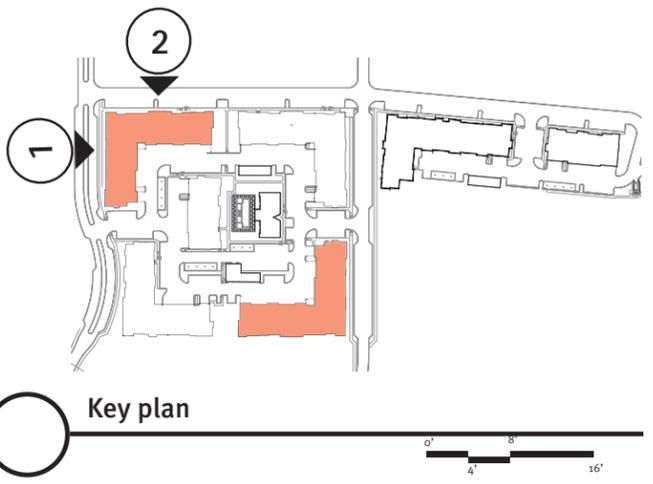
Note: Total Material percentage does not include glazing.

Material Percentages : West Elevation Bldg Type II			
Material	Percentage	Total	
Brick	56%	56%	Non-Masonry Masonry
Cementitious Siding	28%		
Cementitious Panel	16%	44%	
Total (%)	100%	100%	
Glazing (%)		25.23%	

Note: Total Material percentage does not include glazing.

**MATERIAL LEGEND**

- 1** 4" Cementitious Siding
- 2** 4" and 8" Alternating Cementitious Siding
- 3** Cementitious Panel - Rainscreen Installation with Reveal Channels
- 4** Brick Masonry 1
- 5** Brick Masonry 2
- 6** Tube Steel with Pickets and 3"x3" Mesh Infill
- 7** Metal Cladded Balcony
- 8** Metal Sunshade with Tiebacks
- 9** Storefront
- 10** Garage
- 11** Wood Truss Awning with Cementitious Fascia and Soffit
- 12** Composition Shingle Roofing
- 13** Vinyl Windows ( Color: Clay)
- 14** Metal Coping
- 15** Downspouts





02 Building Type II - Conceptual Elevation  
Scale 1/8" = 1' - 0"

Material Percentages : East Elevation Bldg Type II			
Material	Percentage	Total	
Brick	10%	10%	Masonry
Cementitious Siding	80%		
Cementitious Panel	10%	90%	Non-Masonry
Total (%)	100%	100%	

Material Percentages : South Elevation Bldg Type II			
Material	Percentage	Total	
Brick	11%	11%	Masonry
Cementitious Siding	75%		
Cementitious Panel	14%	89%	Non-Masonry
Total (%)	100%	100%	

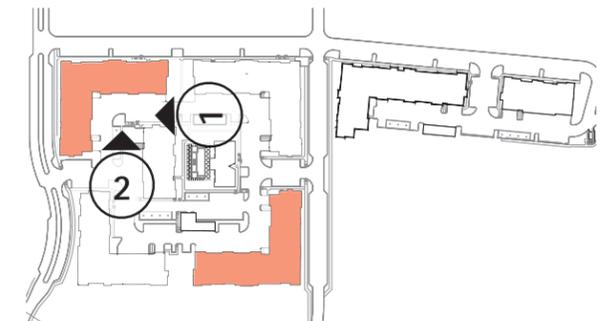
MATERIAL LEGEND

- 1 4" Cementitious Siding
- 2 4" and 8" Alternating Cementitious Siding
- 3 Cementitious Panel - Rainscreen Installation with Reveal Channels
- 4 Brick Masonry 1
- 5 Brick Masonry 2
- 6 Tube Steel with Pickets and 3"x3" Mesh Infill
- 7 Metal Cladded Balcony
- 8 Metal Sunshade with Tiebacks
- 9 Storefront
- 10 Garage
- 11 Wood Truss Awning with Cementitious Fascia and Soffit
- 12 Composition Shingle Roofing
- 13 Vinyl Windows ( Color: Clay)
- 14 Metal Coping
- 15 Downspouts



01 Building Type II - Conceptual Elevation  
Scale 1/8" = 1' - 0"

ATTACHMENT 10 MULTIFAMILY SUBDISTRICT 2 (NRP) ELEVATIONS



Key plan

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 CONSTRUCTION.**

Carl Malcolom  
 Registered Architect of the State of  
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 Registration Number:  
 23379

## The Village at Lewisville Lewisville, Texas



### ATTACHMENT 10 MULTIFAMILY SUBDISTRICT 2 (NRP) ELEVATIONS

NRP Group

Project Number: 2018035  
 Drawn By: mbrown  
 Issue for: \*\*\*\*

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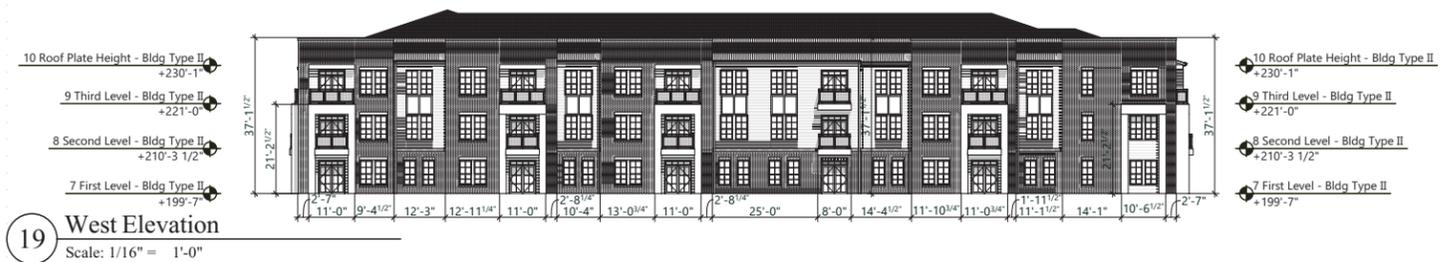
Revision	Date
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 23379

## The Village at Lewisville Lewisville, Texas



### ATTACHMENT 10 MULTIFAMILY SUBDISTRICT 2 (NRP) ELEVATIONS

NRP Group

Project Number: 2018035  
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## The Village at Lewisville Lewisville, Texas

16 Roof Plate Height - Bldg Type III  
 +329'-8"  
 15 Third Level - Bldg Type III  
 +320'-7"  
 14 Second Level - Bldg Type III  
 +309'-10 1/2"  
 13 First Level - Bldg Type III  
 +299'-2"  
**01 North Elevation**  
 Scale: 1/16" = 1'-0"



16 Roof Plate Height - Bldg Type III  
 +329'-8"  
 15 Third Level - Bldg Type III  
 +320'-7"  
 14 Second Level - Bldg Type III  
 +309'-10 1/2"  
 13 First Level - Bldg Type III  
 +299'-2"

16 Roof Plate Height - Bldg Type III  
 +329'-8"  
 15 Third Level - Bldg Type III  
 +320'-7"  
 14 Second Level - Bldg Type III  
 +309'-10 1/2"  
 13 First Level - Bldg Type III  
 +299'-2"  
**07 East Elevation**  
 Scale: 1/16" = 1'-0"



16 Roof Plate Height - Bldg Type III  
 +329'-8"  
 15 Third Level - Bldg Type III  
 +320'-7"  
 14 Second Level - Bldg Type III  
 +309'-10 1/2"  
 13 First Level - Bldg Type III  
 +299'-2"

16 Roof Plate Height - Bldg Type III  
 +329'-8"  
 15 Third Level - Bldg Type III  
 +320'-7"  
 14 Second Level - Bldg Type III  
 +309'-10 1/2"  
 13 First Level - Bldg Type III  
 +299'-2"  
**13 South Elevation**  
 Scale: 1/16" = 1'-0"



16 Roof Plate Height - Bldg Type III  
 +329'-8"  
 15 Third Level - Bldg Type III  
 +320'-7"  
 14 Second Level - Bldg Type III  
 +309'-10 1/2"  
 13 First Level - Bldg Type III  
 +299'-2"

16 Roof Plate Height - Bldg Type III  
 +329'-8"  
 15 Third Level - Bldg Type III  
 +320'-7"  
 14 Second Level - Bldg Type III  
 +309'-10 1/2"  
 13 First Level - Bldg Type III  
 +299'-2"  
**19 West Elevation**  
 Scale: 1/16" = 1'-0"



16 Roof Plate Height - Bldg Type III  
 +329'-8"  
 15 Third Level - Bldg Type III  
 +320'-7"  
 14 Second Level - Bldg Type III  
 +309'-10 1/2"  
 13 First Level - Bldg Type III  
 +299'-2"

### ATTACHMENT 10 MULTIFAMILY SUBDISTRICT 2 (NRP) ELEVATIONS

NRP Group

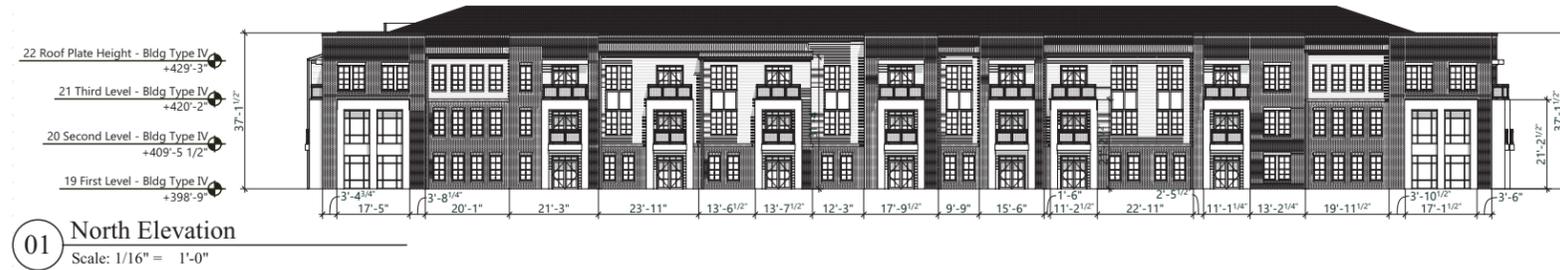
Project Number: 2018035  
 Drawn By: mbrown  
 Issue for: \*\*\*\*

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- 22 Roof Plate Height - Bldg Type IV +429'-3"
- 21 Third Level - Bldg Type IV +420'-2"
- 20 Second Level - Bldg Type IV +409'-5 1/2"
- 19 First Level - Bldg Type IV +398'-9"



- 22 Roof Plate Height - Bldg Type IV +429'-3"
- 21 Third Level - Bldg Type IV +420'-2"
- 20 Second Level - Bldg Type IV +409'-5 1/2"
- 19 First Level - Bldg Type IV +398'-9"



- 22 Roof Plate Height - Bldg Type IV +429'-3"
- 21 Third Level - Bldg Type IV +420'-2"
- 20 Second Level - Bldg Type IV +409'-5 1/2"
- 19 First Level - Bldg Type IV +398'-9"



- 22 Roof Plate Height - Bldg Type IV +429'-3"
- 21 Third Level - Bldg Type IV +420'-2"
- 20 Second Level - Bldg Type IV +409'-5 1/2"
- 19 First Level - Bldg Type IV +398'-9"

Cementitious Panel	26%
Note: Total Material percen	
Material Percentages :	
Brick	55%
Cementitious Siding	26%
Cementitious Panel	19%
Note: Total Material percen	
Material Percentages :	
Brick	12%
Cementitious Panel	13%

## The Village at Lewisville Lewisville, Texas

### ATTACHMENT 10 MULTIFAMILY SUBDISTRICT 2 (NRP) ELEVATIONS

NRP Group

Project Number: 2018035  
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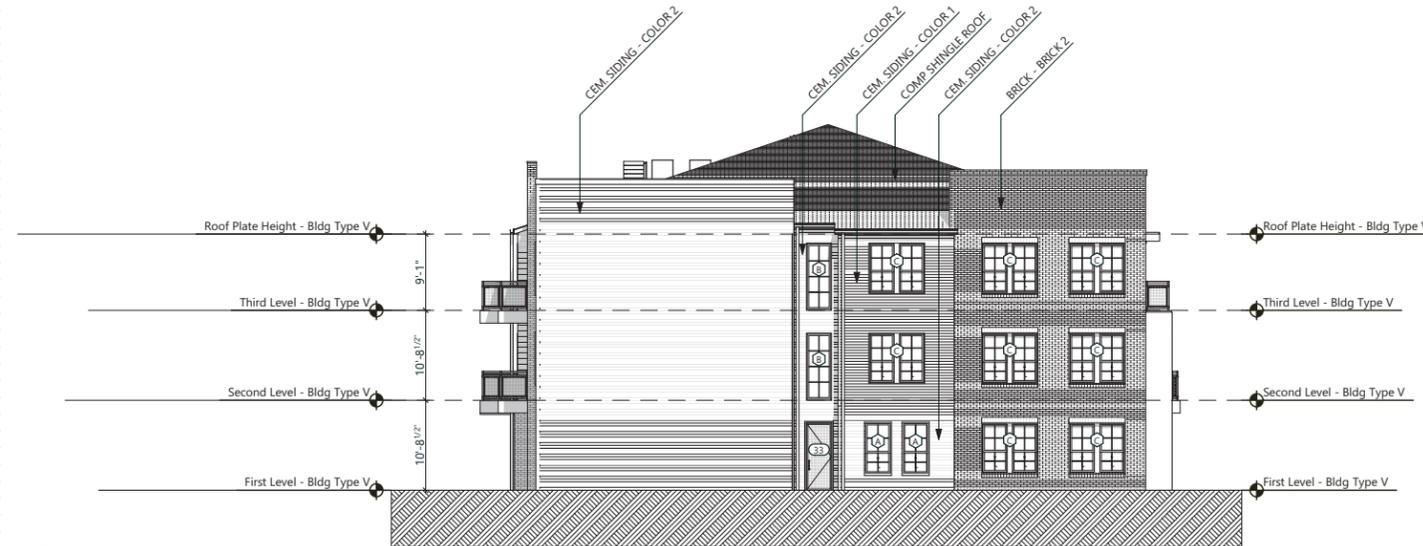
Carl Malcolm  
 Registered Architect of the State of Texas  
 Registration Number: 233779

Cementitious Panel	20%	60%	No
Note: Total Material percentage does not include glazing.			

Material Percentages - East Elevation Bldg Type V			
Brick	28%	28%	Non-Masonry Masonry
Cementitious Panel	0%	72%	



07 North Elevation  
 Scale: 1/8" = 1'-0"



19 East Elevation  
 Scale: 1/8" = 1'-0"

## ATTACHMENT 10 MULTIFAMILY SUBDISTRICT 2 (NRP) ELEVATIONS

NRP Group

Project Number: 2018035  
 Drawn By: mbrown  
 Issue for: \*\*\*\*

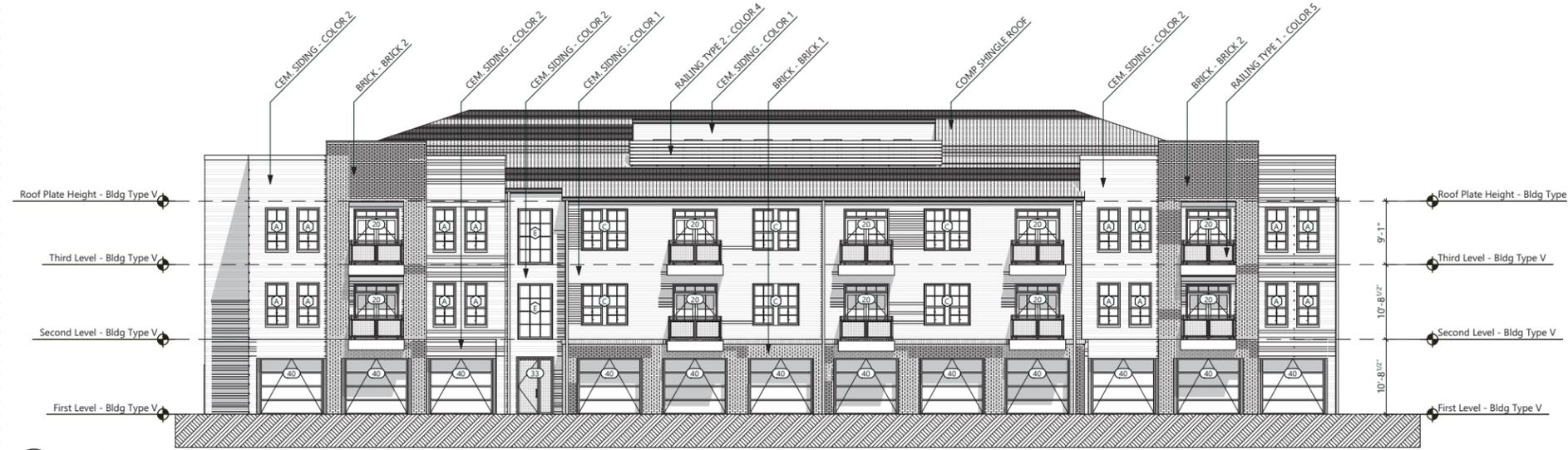
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Material Percentages : West Elevation Bldg Type V			
Brick	29%	29%	Masonry
Cementitious Siding	71%		Non-Masonry
Cementitious Panel	0%	71%	



**07 South Elevation**  
 Scale: 1/8" = 1'-0"



**19 West Elevation**  
 Scale: 1/8" = 1'-0"

## The Village at Lewisville Lewisville, Texas

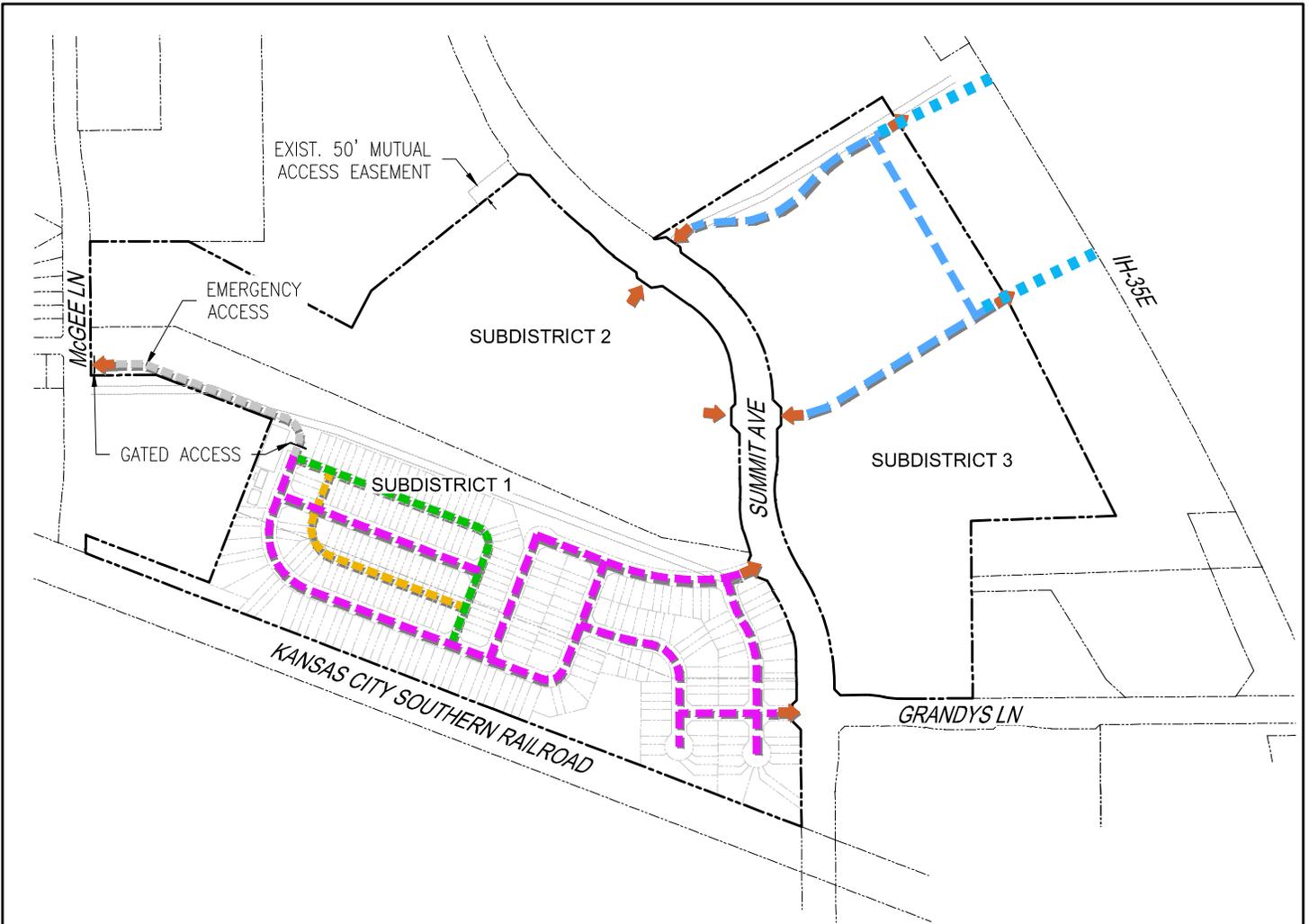
### ATTACHMENT 10 MULTIFAMILY SUBDISTRICT 2 (NRP) ELEVATIONS

NRP Group

Project Number: 2018035  
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SCALE: 1" = 500'

**LEGEND**

-  COMMERCIAL STREET
-  RESIDENTIAL STREET (R1)
-  STANDARD ALLEY (A1)
-  MODIFIED ALLEY (A2)
-  ACCESS POINT

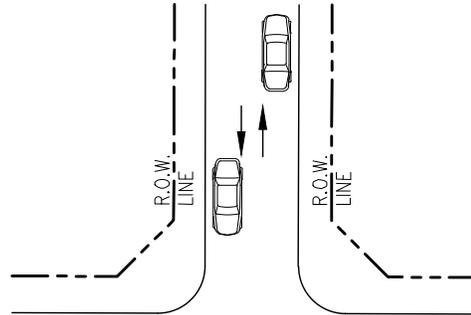
**NOTES:**

1. COMMERCIAL STREETS MAY BE PRIVATE STREETS. PRIVATE STREETS SHALL BE MAINTAINED BY THE PROPERTY OWNER, INCLUDING IRRIGATION SYSTEMS, LANDSCAPING, SIDEWALKS, CURB RAMPS, TRAFFIC SIGNS, AND STREET LIGHTS, NOT WITHSTANDING THE FOLLOWING: THE CITY SHALL MAINTAIN AND OPERATE ANY PUBLIC WATER, WASTEWATER, AND STORM WATER INFRASTRUCTURE. THE PROPERTY OWNER IS RESPONSIBLE TO REPAIR CONCRETE DAMAGED BY THE CITY OF LEWISVILLE OR THE CITY OF LEWISVILLE'S CONTRACTOR DUE TO MAINTENANCE OR REPAIRS TO THE CITY-MAINTAINED STORM SEWER, SANITARY SEWER, OR WATER LINE.
2. COMMERCIAL STREETS REQUIRE STREET TREES AT APPROXIMATELY 35 FEET ON CENTER AND MAY BE PLANTED IN A CONTINUOUS PARKWAY NOT LESS THAN 4 FEET IN WIDTH, OR PLANTED IN TREE WELLS NO SMALLER THAN 4 FEET WIDE BY 6 FEET LONG.



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 CONSULTING ENGINEERS & PLANNERS  
 600 SIX FLAGS DRIVE, SUITE 500  
 ARLINGTON, TEXAS 76011 (817) 640-8535  
 TBPE FIRM: F-1191/TBPLS FIRM: 101538-00

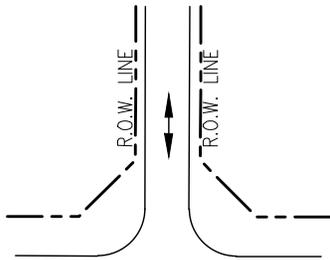
**ATTACHMENT 10 THOROUGHFARE PLAN**



**R1 - RESIDENTIAL STREET**

N.T.S.

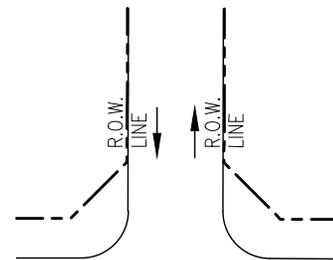
R1	
WIDTH B-B	33'
ANGLED PARKING	N
PARALLEL PARKING	N
INTERMITTENT PARKING	YES
MEDIAN	N



**A1 - STANDARD ALLEY**

N.T.S.

A1	
WIDTH B-B	12'
ANGLED PARKING	N
PARALLEL PARKING	N
INTERMITTENT PARKING	N
MEDIAN	N



**A2 - MODIFIED ALLEY**

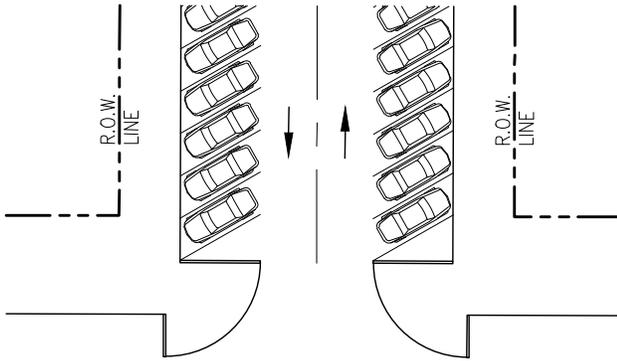
N.T.S.

A2	
WIDTH B-B	24'
ANGLED PARKING	N
PARALLEL PARKING	N
INTERMITTENT PARKING	N
MEDIAN	N



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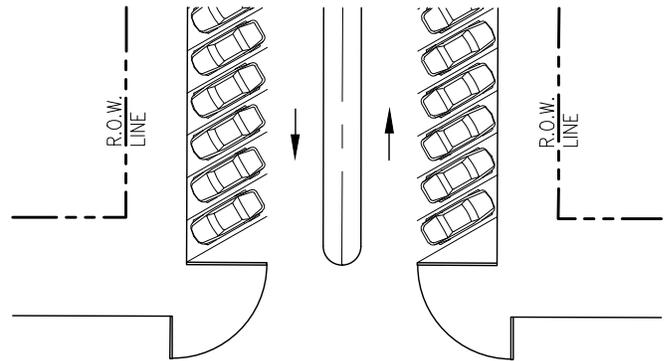
**ATTACHMENT 11 STREET SECTIONS**



**C1 - COMMERCIAL STREET**

N.T.S.

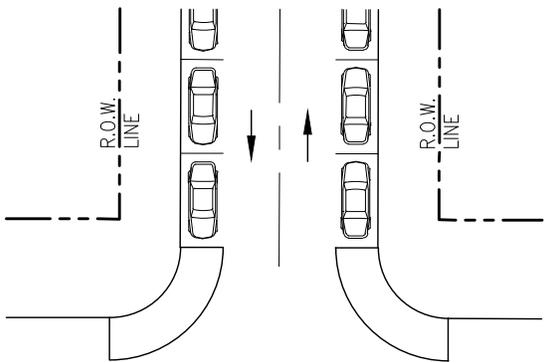
C1	
WIDTH B-B	60'
ANGLED PARKING	18'
PARALLEL PARKING	N
INTERMITTENT PARKING	N
MEDIAN	N



**C2 - COMMERCIAL STREET**

N.T.S.

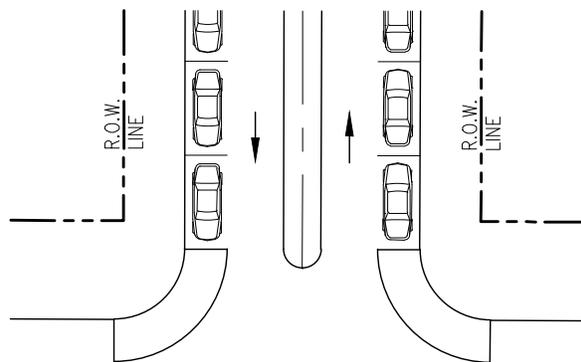
C2	
WIDTH B-B	60'+
ANGLED PARKING	18'
PARALLEL PARKING	N
INTERMITTENT PARKING	N
MEDIAN	YES



**C3 - COMMERCIAL STREET**

N.T.S.

C3	
WIDTH B-B	40'
ANGLED PARKING	N
PARALLEL PARKING	8'
INTERMITTENT PARKING	N
MEDIAN	N



**C4 - COMMERCIAL STREET**

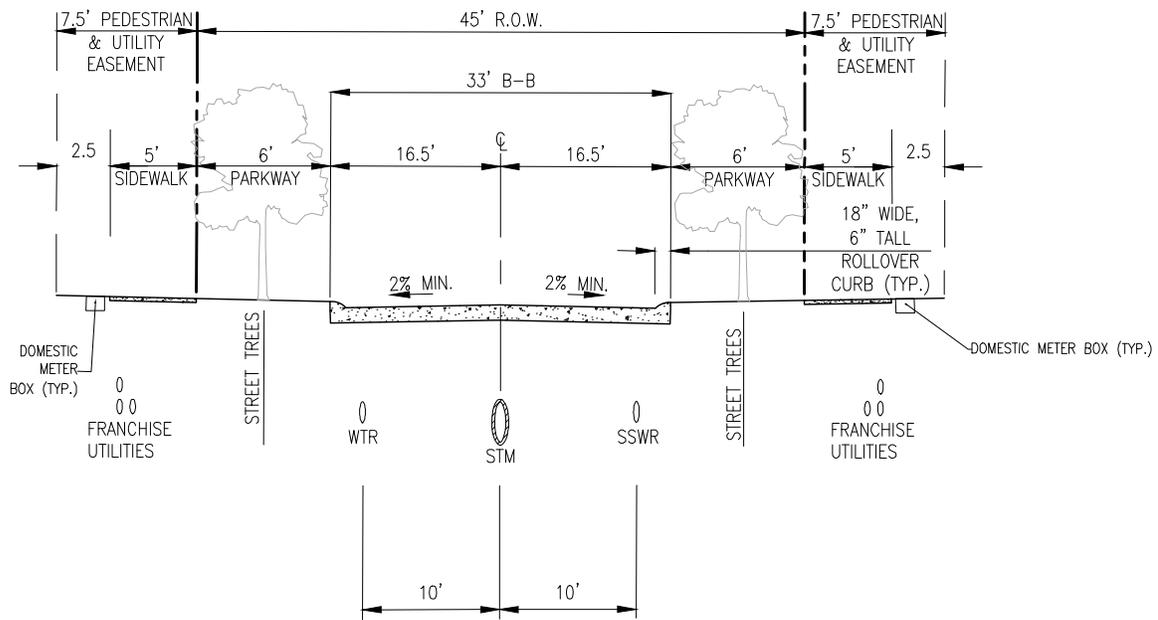
N.T.S.

C4	
WIDTH B-B	40'+
ANGLED PARKING	N
PARALLEL PARKING	8'
INTERMITTENT PARKING	N
MEDIAN	YES

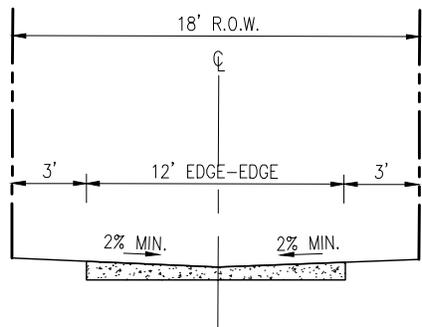


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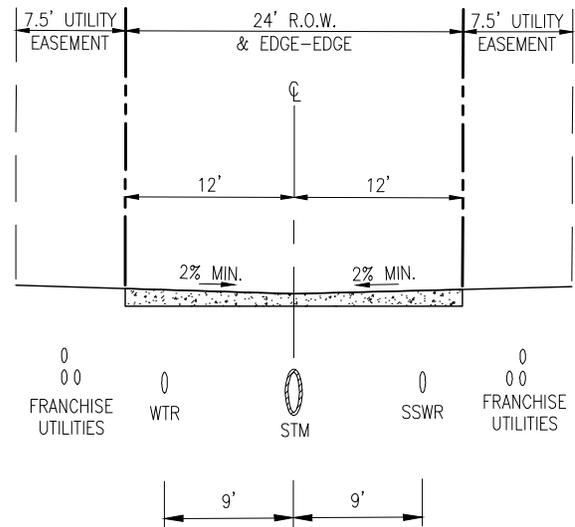
**ATTACHMENT 11 STREET SECTIONS**



**R1 RESIDENTIAL STREET (45' PUBLIC RIGHT-OF-WAY)**  
**TYPICAL SECTION**  
 N.T.S.



**A2 STANDARD ALLEY (24' RIGHT-OF-WAY)**  
**TYPICAL SECTION**  
 N.T.S.

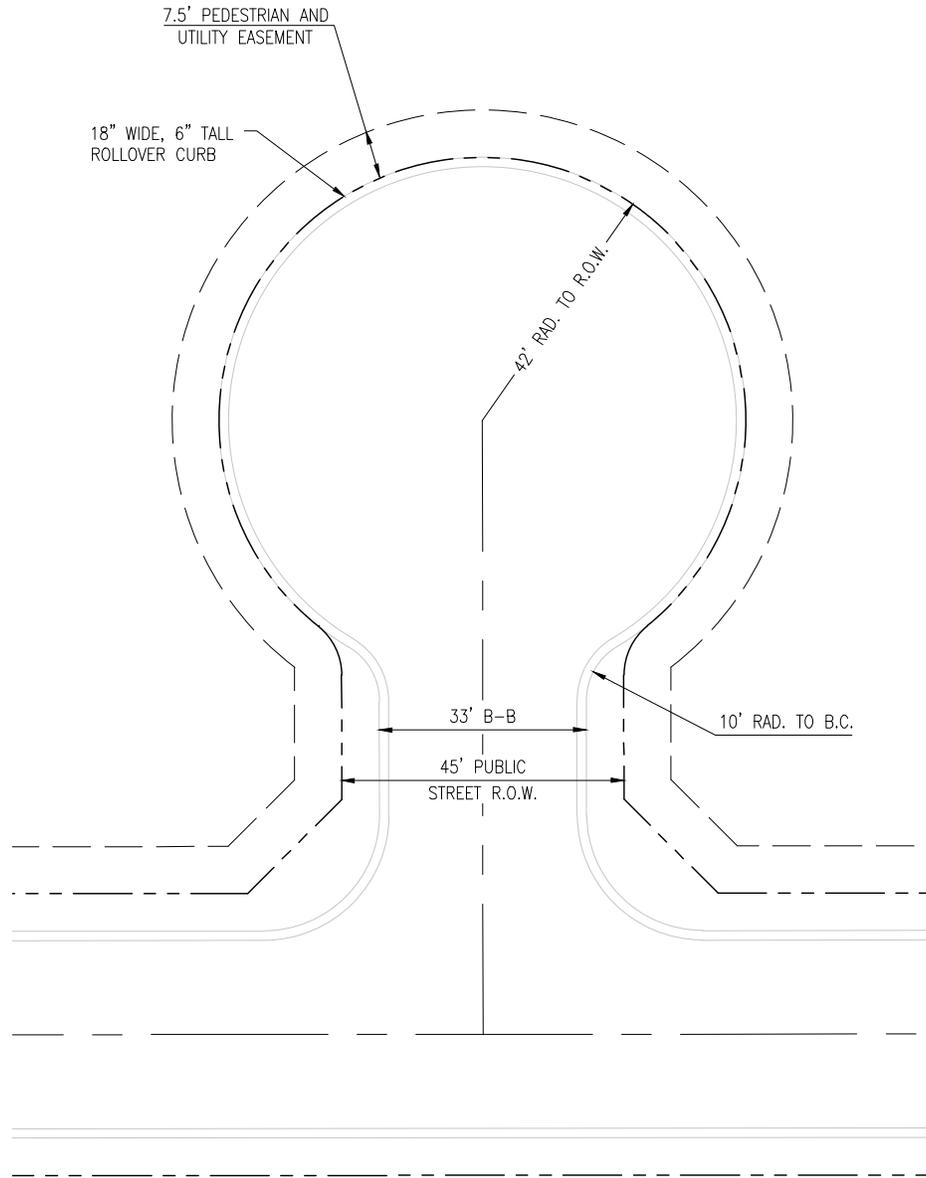


**A1 MODIFIED ALLEY (18' RIGHT-OF-WAY)**  
**TYPICAL SECTION**  
 N.T.S.



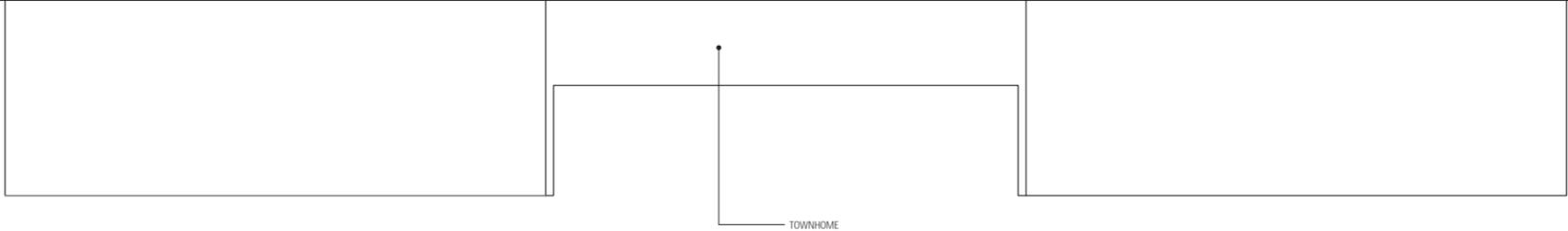
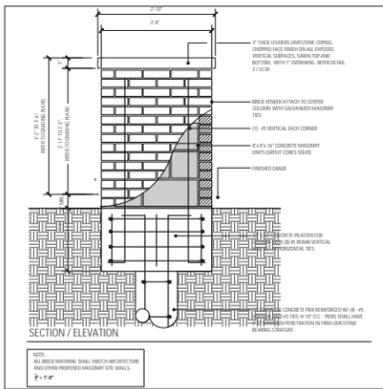
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 TBPE FIRM: F-1191/TBPLS FIRM: 101538-00

# ATTACHEMENT 11 TOWNHOME SUBDISTRICT STREET SECTIONS

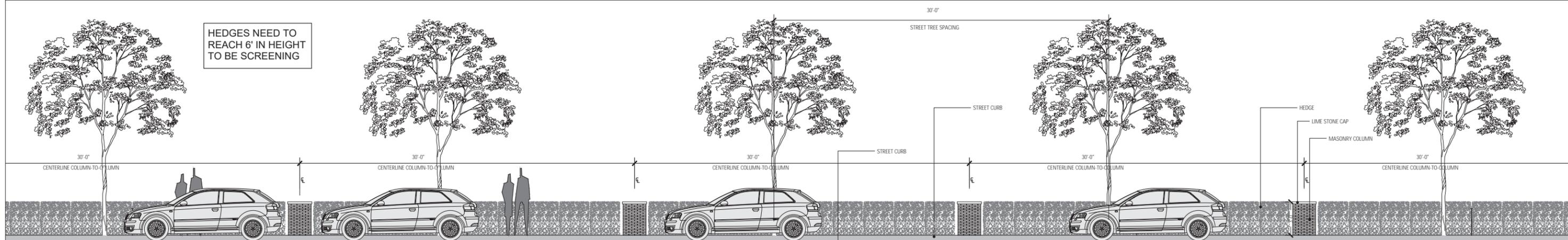
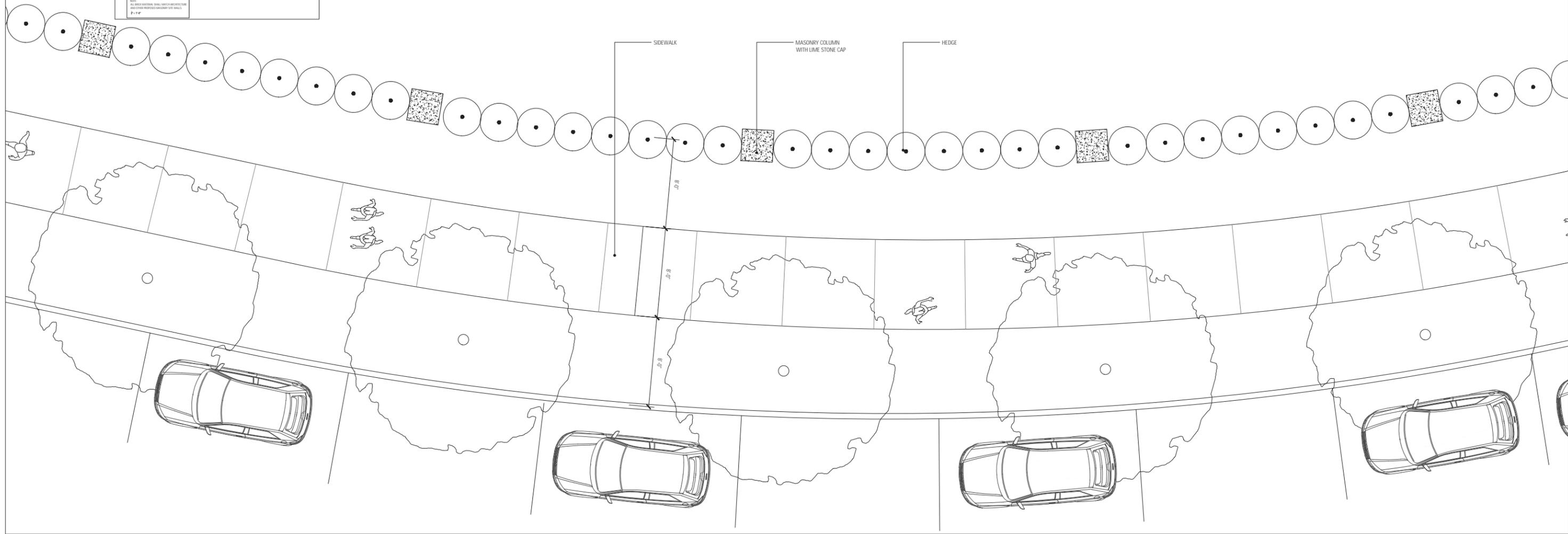


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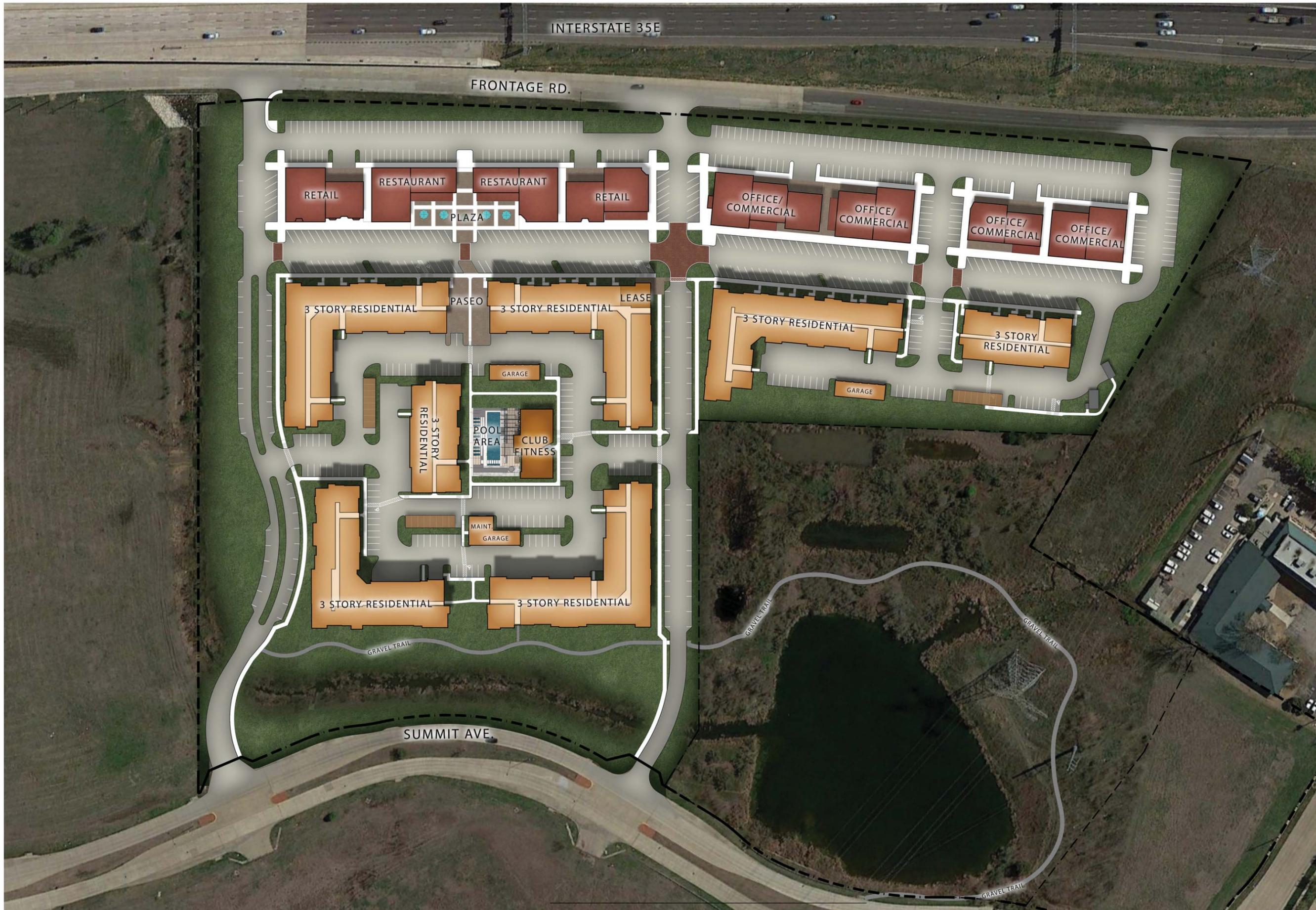
## ATTACHMENT 12 TOWNHOME 1 SUBDISTRICT CUL-DE-SAC LAYOUT



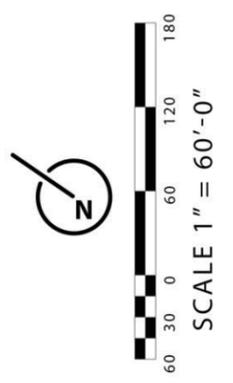
**ATTACHMENT 13 SCREENING AT SUMMIT & MCGEE**



**1 WALL AND HEDGE STREET ELEVATION & PLAN VIEW**  
1/4" = 1'-0"



The Village at Lewisville  
Lewisville, Texas  
Illustrative Site Plan







## MEMORANDUM

**TO:** Planning and Zoning Commission

**FROM:** Michele Berry, Planning Manager

**DATE:** February 18, 2020

**SUBJECT:** **Public Hearing: Consideration of Amending Chapter 17, Section 17-26, “PD” Planned Development District, to Remove the Minimum Size Requirement for Planned Development Districts.**

### BACKGROUND

As part of the Zoning Code rewrite process we have received direction from the planning and Zoning Commission and City Council to amend the ordinance to remove the minimum acreage required for a Planned Development zoning district. This amendment is being brought forward ahead of the code rewrite due to an increase in potential development that may benefit from the flexibility offered in a Planned Development.

### ANALYSIS

As we approach full development staff regularly meets with developers on smaller sites for creative uses that are not addressed in the current ordinances. We do not anticipate this trend to end soon but rather anticipate the creativity of development will need to increase, especially on redevelopment sites.

Planned Developments are one tool to promote more creative developments. They are not the only options available and before resorting to a Planned Development staff will explore other options such as Variances or Alternative Standards. Each of these tools has merits and limitations.

The Planned Development is the only tool that can modify use restrictions. The code currently requires a 5-acre minimum for a Planned Developments. Removing this minimum would give staff more flexibility to work with developers of challenging infill sites. This tool should be used judiciously to ensure the public interest is met and development complies with long range plans.

### RECOMMENDATION

It is City Staff’s recommendation that the City Planning & Zoning Commission recommend approval of the proposed code amendment as presented.

Sec. 17-26. - "PD" Planned Development District.

- (a) *General purpose and description.* The Planned Development District is a district which accommodates planned associations of uses developed as integral land use units such as industrial districts, offices, commercial or service centers, shopping centers, residential developments of multiple or mixed housing including, attached single-family dwellings or any appropriate combination of uses which may be planned, developed, or operated as integral land use units either by a single owner or a combination of owners. A Planned Development (PD) District may be used to permit new or innovative concepts in land utilization not permitted by other zoning districts in this chapter. While greater flexibility is given to allow special conditions or restrictions, which would not otherwise allow the development to occur, procedures are established herein to ensure against misuse of increased flexibility. ~~The minimum area for a Planned Development (PD) District shall be five acres.~~
- (b) *Permitted uses.* An application for a PD District shall specify the base district(s), the use or the combination of uses proposed. Uses which may be permitted in a PD must be specified if not permitted in the base district. In the case of residential PD Districts for single-family or duplex categories, the proposed lot area shall be no smaller than the lot sizes allowed in the base zoning district except for minor reductions in a small percentage of the lots in order to provide improved design. In selecting a base zoning district, the uses allowed in the base district must be similar or compatible with those allowed in the PD. PD designations shall not be attached to special use permit (SUP) requirements. Special use permits allowed in a base zoning district are allowed in a PD only if specifically identified at the time of PD approval.
- (c) *Planned development requirements.*
- (1) Development requirements for each separate PD District shall be set forth in the amending ordinance granting the PD District and shall include, but may not be limited to: uses, density, lot area, lot width, lot depth, yard depths and widths, building height, building elevations, building material coverage, floor area ratio, parking, access, screening, landscaping, accessory buildings, signs, lighting, hours of operation, project phasing or scheduling, management associations, and other requirements as the city council and planning and zoning commission may deem appropriate.
  - (2) In the PD District, uses shall conform to the standards and regulations of the base zoning district to which it is most similar. The base zoning district shall be stated in the granting ordinance. All applications to the city shall list all requested deviations from the standard requirements set forth throughout this chapter (applications without this list will be considered incomplete) specifically any deviation not requested is deemed to comply with this chapter even if shown graphically on a site plan. The Planned Development District shall conform to all other sections of this chapter unless specifically excluded in the granting ordinance.
  - (3) The ordinance granting a PD District shall include a statement as to the purpose and intent of the PD granted therein. A specific list is required of modifications in each district or districts and general statement citing the reason for the PD request.
- (d) In establishing a Planned Development District in accordance with this section, the city council shall approve and file as part of the amending ordinance appropriate plans and standards for each Planned Development District. To facilitate understanding of the request during the review and public hearing process, the planning and zoning commission and city council shall require a concept plan. All PD applications shall have a written proposal explaining all aspects of the requested PD including any deviations from this chapter. The concept plan shall be submitted by the applicant at the time of the PD request. The plan shall show the applicant's intent for the use of the land within the proposed Planned Development District in a graphic manner and as may be required, supported by written documentation of proposals and standards for development. The city may prepare application form(s), which further describe and explain the following requirements:
- (1) *Residential concept plan.* A concept plan for residential land use shall show the following:
    - a. General use;

- b. Thoroughfares;
  - c. Preliminary lot arrangements;
  - d. Size, type and location of buildings and building sites;
  - e. Access;
  - f. Density;
  - g. Building height;
  - h. Fire lanes;
  - i. Screening;
  - j. Landscaped areas;
  - k. Project scheduling and phasing;
  - l. Any other pertinent development data.
- (2) *Nonresidential concept plan.* A concept plan for uses other than residential uses shall set forth the land use proposals in a manner to adequately illustrate the type and nature of the proposed development. Data which may be submitted by the applicant, or required by the city staff, planning and zoning commission, or city council, may include, but is not limited to the following:
- a. Types of use(s);
  - b. Topography and boundary of PD area;
  - c. Physical features of the site;
  - d. Existing streets, alleys and easements;
  - e. Location of future public facilities;
  - f. Building height and location
  - g. Parking areas and ratios;
  - h. Fire lanes;
  - i. Project scheduling and phasing;
  - j. Landscape plans;
  - k. Screening;
  - l. Building elevations;
  - m. Any other information to adequately describe the proposed development and to provide data for approval which is to be used in drafting the required engineering site plan.
- (e) *Approval process and procedure.* The procedure for establishing a Planned Development District shall follow the procedure for zoning amendments as set forth in section 17-37. This procedure is further expanded as follows for approval of concept plans:
- (1) The planning and zoning commission shall recommend and the city council shall approve a concept plan in public hearings. One public hearing at the planning and zoning commission and one at the city council for the PD request is adequate when:
- a. Information on the concept plan and attached application is sufficient to determine the appropriate use of the land and the required engineering site plan and/or preliminary/final plat will not deviate substantially from it; or
  - b. The applicant submits adequate data with the request for the Planned Development District to fulfill the requirement for an engineering site plan and/or preliminary/final plat.

- (2) The amending ordinance establishing the Planned Development District shall not be approved until the concept plan is approved.
  - (3) An engineering site plan shall be submitted for approval within one year from the date of approval of the concept plan for all or some portion of the concept plan. If an engineering site plan is not submitted within one year, the concept plan is subject to review by the planning and zoning commission and city council. If some portion of the project is not started within two years, the planning and zoning commission and city council may review the original concept plan to ensure its continued validity. If the city determines the concept plan is not valid, a new concept plan must be approved prior to submittal of an engineering site plan for the PD District. Although a new concept plan may be required to be approved, this does not affect the validity of the PD in terms of uses, density, and other development standards permitted in the PD.
  - (4) When a PD District is being considered, a written report from the director of economic development and planning or his/her designated representative, discussing the impact on planning, engineering, water utilities, electric, sanitation, building inspection, tax, police, fire, and traffic, and written comments from the applicable public agencies shall be submitted to the planning and zoning commission prior to the commission making any recommendations to the city council.
- (f) All Planned Development Districts approved in accordance with the provisions of this chapter in its original form, or by subsequent amendments thereto, shall be referenced on the zoning district map, and a list of such Planned Development Districts together with the category of uses permitted therein, shall be maintained as part of this chapter.
- (g) *Planned unit development ordinances continued.* Prior to adoption of this chapter, the city council has established various Planned Unit Development Districts, all of which are to be continued in full force and effect. The ordinances or parts of ordinances approved prior to this chapter shall be carried forth in full force and effect as are the conditions, restrictions, regulations and requirements which apply to the respective Planned Unit Development Districts shown on the zoning map at the date of adoption of this chapter.