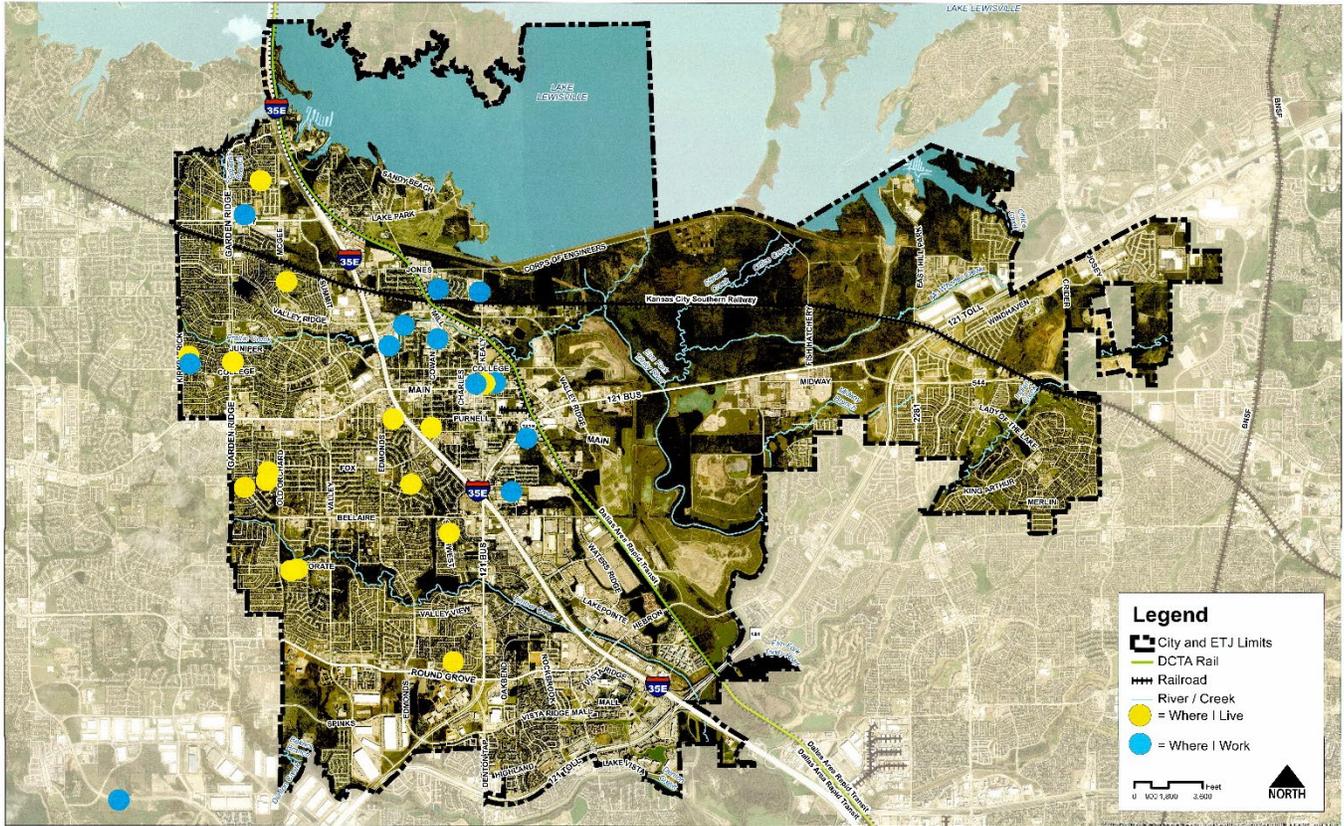


Station 0: Registration
"Where Am I"

WHERE AM I?

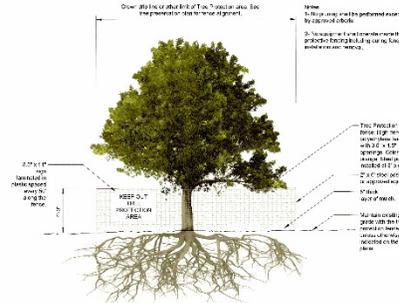


- **Yellow** dots = "Where I Live" (15 in-district, 0 out-of-district)
- **Blue** dots = "Where I Work" (11 in-district, 1 out-of-district)

Station 1: Extending the Green
Board 1

EXTENDING THE GREEN

Require more up-front planning to **preserve trees**, especially for residential subdivisions



Tree Protection During Construction

Post Oak



Blackjack Oak



- **Increase size** of protected trees from 5" to 8", but **exempt** fewer tree species
- **Require most species** of trees to be **preserved** in floodplains and along creeks – (but not invasive species)

- Give **"extra credit"** for preserving post oaks and blackjack oaks
- Encourage tree preservation by **reducing building setbacks** and **parking** and **lot sizes** as incentives.

What do you think? Write comments here!

Like the incentives

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

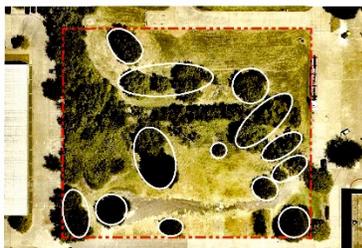


- *Like the incentives*

Station 1: Extending the Green
Board 2

EXTENDING THE GREEN

Cluster subdivisions **promote tree preservation** by grouping homes closer together rather than expanding into the surrounding open space



- Preserved green space
- Identification of potential trees to be preserved on smaller sites

What do you think? Write **comments** here!

<ul style="list-style-type: none"> • Against houses being closer. Neighbors wake you up by slamming doors • Trees are fine but in time the roots affect the water lines to houses • What about the maintenance of the trees and other plants? Hanging over property lines • Add pecan trees • Like clustering as a "development option" • • • • 	<ul style="list-style-type: none"> • • • • • • • •
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Development Code Overhaul

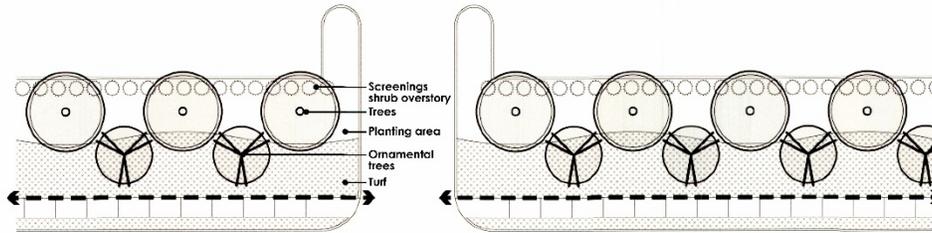


- Against houses being closer. Neighbors wake you up by slamming doors
- Trees are fine but in time the roots affect the water lines to houses
- What about the maintenance of the trees and other plants? Hanging over property lines
- Add pecan trees
- Like clustering as a "development option"

Station 1: Extending the Green
Board 3

EXTENDING THE GREEN

Promote more sustainable landscaping



- Increase landscaped strip width for non-residential development from 10 feet to 15 feet
- Reduce large areas of turf
- Promote drip and soaker irrigation over spray heads
- Allow only native and adapted drought-tolerant trees and plants to be planted



What do you think? Write **comments** here!

Agree with reducing large turf areas

- Agree with reducing large turf areas

Station 1: Extending the Green
“Extending the Green Comments”

EXTENDING THE GREEN COMMENTS

Consideration should be given to either 1) requiring permeable driveways or 2) incentivizing same. This relates to reducing runoff + stormwater issue, as smaller bldg. lots are permitted.

Appreciate the trees
but nobody trims
along sidewalks along
main roadways

- Consideration should be given to either 1) requiring permeable driveways or 2) incentivizing same. This relates to reducing runoff and stormwater issue, as smaller building lots are permitted.
- Appreciate the trees but nobody trims along sidewalks along roadways

**Station 2: Old Town
Board 1**

OLD TOWN

Keep requirements that **maintain the historic character** of downtown



- **Remove redundant regulations** addressed elsewhere in the ordinance
- **Clarify architectural guidelines** and make them more **user-friendly**
- Reference overall city regulations so Old Town regulations **stay current** as regulations change

What do you think? Write **comments here!**

• _____	• _____
• _____	• _____
• _____	• _____
• _____	• _____
• _____	• _____
• _____	• _____
• _____	• _____
• _____	• _____
• _____	• _____
• _____	• _____



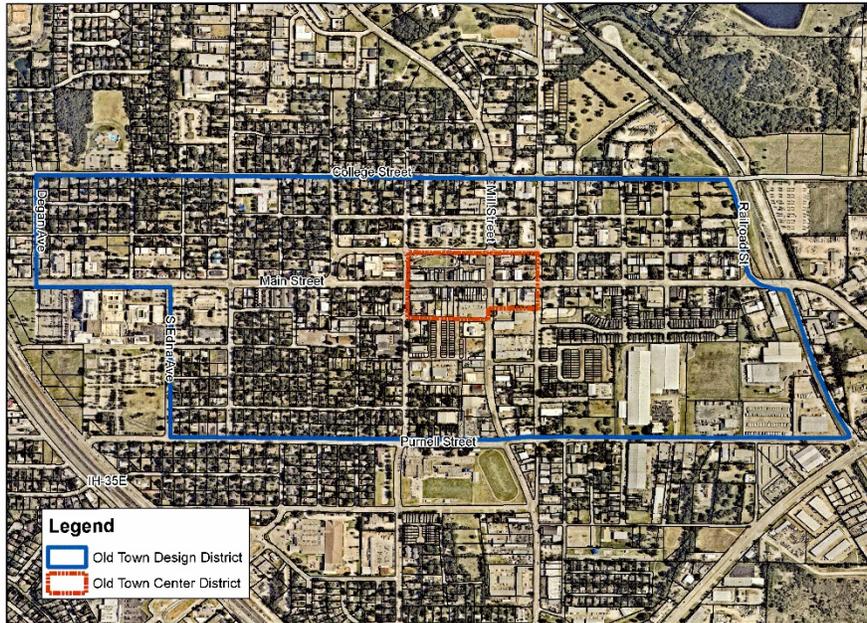
Development Code Overhaul



- *No additional comments*

Station 2: Old Town
Board 2

OLD TOWN



What do you think? Write **comments here!**

- *Need more parking lots*
- *Infrastructure improvements*
- *Walk-bike trails*
- *Control rent properties*
- _____
- _____
- _____
- _____
- _____
- _____



Development Code Overhaul



- *Need more parking lots*
- *Infrastructure improvements*
- *Walk-bike trails*
- *Control rent properties*

Station 2: Old Town
Board 3

Old Town Development



- *No comments*

Station 3: Thriving Neighborhoods - Residential
Board 1

THRIVING NEIGHBORHOODS

The new code will expand housing **choices** in Lewisville



- Backyard cottages will be allowed in larger lot single-family zoning districts
- Duplexes will be allowed in Single-Family 7.5 and Single-Family 5 zoning districts
- New ordinance will make it **easier to rebuild** older, smaller homes
- Allowing **more flexibility** in housing types will keep housing affordable for Lewisville residents

What do you think? Write **comments here!**

• How is past development enforced?
 • Define "larger" lot
 • Infrastructure improvements
 • Control/limit rent properties
 • Duplexes with backyards & townhomes with backyards!
 • Agree with allowing flexible housing options!
 • _____
 • _____
 • _____
 • _____
 • _____



Development Code Overhaul



- How is past development enforced?
- Define "larger" lot
- Infrastructure improvements
- Control/limit rent properties
- Duplexes with backyards & townhomes with backyards!
- Agree with allowing flexible housing options!

Station 3: Thriving Neighborhoods - Residential
Board 2

THRIVING NEIGHBORHOODS

PROPOSED MIXED-USE DISTRICT USES PARKING	
Use	Parking Requirements
ACCESSORY USES AND STRUCTURES	
Accessory Building	NA
Accessory Dwelling Unit	1 space per unit
Accessory Use (limited to 100 sq ft)	NA
Carport	NA
Day Care (In Home)	NA
Gas and Oil Drilling Accessory Uses	NA
Open Storage (Accessory)	NA
AGRICULTURAL AND ANIMAL USES	
Animal Care (Indoor)	1,000
Animal Care (Outdoor Farm or Run)	1,000
Vegetation (Outdoor Amenity or Run)	1,000
EDUCATIONAL, INSTITUTIONAL, PUBLIC AND SPECIAL USES	
Business/Corporate School or other Institution of Education	1 space for every 3 students, teachers and staff
Cemetery, Columbarium, Mausoleum and Crematorium	1,000 for space used for funeral or other services
Governmental Offices and Services	1,000
Public Parks and Recreations	NA
Private Studios/Sports Arena or Field	1 space for each 4 seats
Public Utility Facilities	1,000, minimum 1 space
Religious Assembly	1 space for every 20 seats or worship spaces for main sanctuary
Schools - Pre-K	Elementary and Middle School - 1 space for each classroom plus 1 space for each 10 students, based on design capacity. High School - 1 space per 2 students, faculty and staff, based on design capacity.
Schools - Public or Parochial	Elementary and Middle School - 1 space for each classroom plus 1 space for each 10 students, based on design capacity. High School - 1 space per 2 students, faculty and staff, based on design capacity.
MANUFACTURING AND INDUSTRIAL USES	
Brewery, Distillery or Winery	1,000 for manufacturing space; 1,000 for bottling room
OFFICE AND PROFESSIONAL USES	
Medical Offices and Clinics	1,000
Professional and Administrative Offices	1,000
RESIDENTIAL USES	
Duplex	1 garage space plus 2 driveway spaces
Household Care Facility	1 garage space plus 2 driveway spaces
Multi-Family Dwelling	2 spaces per unit
Single Family Attached	1 garage space, 2 driveway spaces plus 1 space per unit for front entry table
Single-Family Detached Dwelling	1 garage space plus 2 driveway spaces
RETAIL USES	
Building Retail Sales, Including Lumber Yards	1,000 for retail sales area; 1,000 for outdoor storage area
Flower Shop	1,000
Restaurants	1,000
Retail Stores and Shops	1,000
SERVICE USES	
Bank or Financial Institution	1,000
Bed and Breakfast	1 space per guest room plus 1 space for operator
Commercial Amusement, Indoor	Bowling - 2 spaces per lane; Skating Rink, Laser Tag or similar uses - 1,000; Other Uses 1,000
Day Care Center	1,000
Dry Cleaning and Laundry Services	1,000
Extended Stay Hotels	1 space per guestroom
Rational Distribution or Lodge	1,000
Hotels, Motels and Inns	1 space per guestroom
Funeral Homes or Mortuaries, with/without Crematorium	1,000
Licensed Massage Therapy	1,000
Personal Service	1,000
Theater	1 space for every 3 seats
TEMPORARY USES	
Asphalt/Concrete Batch Plant (Temporary)	NA
Temporary and Seasonal Sales	NA
Temporary Construction Buildings	NA
Temporary Drive Care Stands	NA
Animal Communication Antennae/Support Structures	NA
Communication Antennae/Support Structures	1,000 for office area; minimum 1 space
VEHICLE AND RELATED USES	
Automobile Parking Structures	NA
Gasoline Service Station	1,000

PROPOSED RESIDENTIAL DISTRICTS USES PARKING	
Use	Parking Requirements
ACCESSORY USES AND STRUCTURES	
Accessory Building	NA
Accessory Dwelling Unit	1 space per unit
Accessory Use	NA
Carport	NA
Day Care (In Home)	NA
Gas and Oil Drilling Accessory Uses	NA
Home Occupation	NA
AGRICULTURAL AND ANIMAL USES	
Agricultural, Farming, Ranching	NA
EDUCATIONAL, INSTITUTIONAL, PUBLIC AND SPECIAL USES	
Assisted Living Facility	1 space for every 2 beds or with
Cemetery, Columbarium, Mausoleum and Crematorium	1,000 for space used for funeral or other services
Continuing Care Facility	Based on the individual requirements for each type of housing
Country Club and Golf Course	8 spaces per hole
Long Term Care Facility	1 space for every 2 beds
Nursing Home and Services	1,000
Private Recreation Area/Facility	1,000
Public Governmental Agency	1,000
Public Parks and Recreations	NA
Public Utility Facilities	1 space per employee; minimum 1 space
Religious Assembly	1 space for every 20 seats or worship spaces for main assembly area
Schools - Private	Elementary and Middle School - 1 space for each classroom plus one space for each 10 students based on design capacity. High School - 1 space per 2 students, faculty and staff, based on design capacity.
Schools - Public or Parochial	Elementary and Middle School - 1 space for each classroom plus one space for each 10 students, based on design capacity. High School - 1 space per 2 students, faculty and staff, based on design capacity.
RESIDENTIAL USES	
Single-Family Detached Dwelling	1 garage space plus 2 driveway spaces
Household Care Facility	1 garage space plus 2 driveway spaces
Manufactured Home (MSD Code)	2 spaces per unit
Quadrant	2 spaces per lot
Manufactured Home Park	2 spaces per unit
Single-Family Attached Dwelling	1 garage space, 2 driveway spaces plus 1 space per unit for front entry
Independent Living	2 spaces per unit
Multi-Family Dwelling	2 spaces per unit
Dormitories for Students	1 space for every 2 beds
SERVICE USES	
Day Care Center	1,000
TEMPORARY USES	
Asphalt/Concrete Batch Plant (Temporary)	NA
Temporary and Seasonal Sales	NA
Temporary Construction Buildings	NA
Animal Communication Antennae/Support Structures	NA
Communication Antennae/Support Structures	1,000 for office area; minimum 1 space

What do you think? Write comments here!

• Why are you requiring garages on single family residential? It should be optional.
 • Can there be some garage flexibility to promote more of affordable housing?
 • Agree with reduced parking requirements - too much asphalt/concrete



Development Code Overhaul

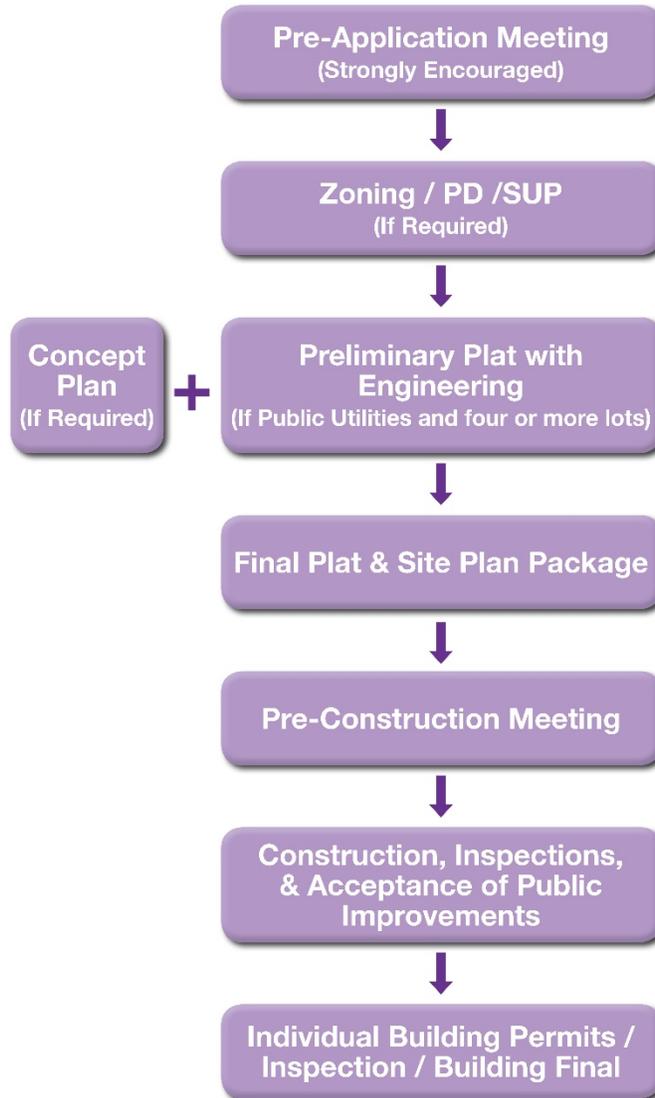


Kimley»Horn

- Why are you requiring garages on single family residential? It should be optional.
- Can there be some garage flexibility to promote more of affordable housing?
- Agree with reduced parking requirements - too much asphalt/concrete

Station 3: Thriving Neighborhoods - Residential
Board 3

Residential Development

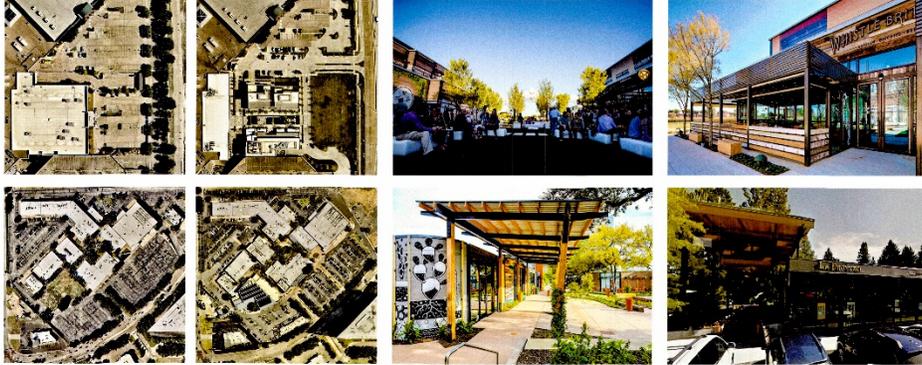


- *No comments*

Station 5: Thriving Neighborhoods - Commercial Board 1

THRIVING NEIGHBORHOODS

Parking requirements will be standardized and **reduced** for most uses



- **Reduced parking** can allow new construction to **revitalize** older commercial strips
- Changes to restaurant requirements should spur **redevelopment** of existing strip developments
- Some **additions** and **changes in use** can be made without triggering additional parking

The Parking Standards should encourage **pedestrian-scaled** development



- Up to **10%** of parking may be provided as **compact car** spaces
- If **excess parking** is provided, **more landscaping** or permeable paving will be required

What do you think? Write comments here!

• Agree with less parking and more green life

• _____

• _____

• _____

• _____

• _____

• _____

• _____

• _____

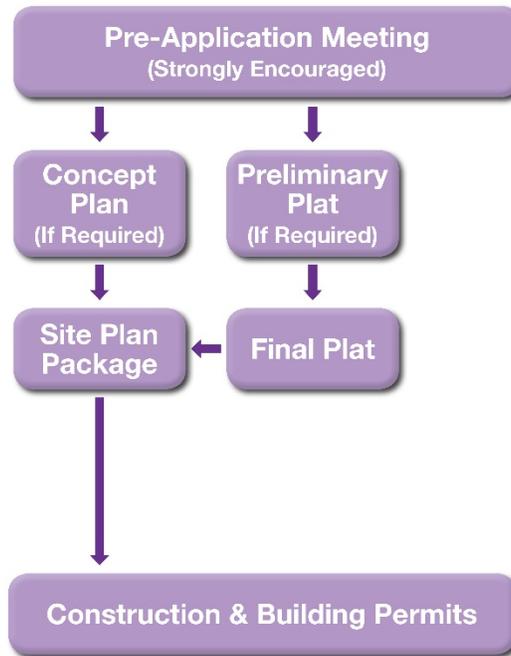
• _____

• _____

- Agree with less parking and more flexibility

Station 5: Thriving Neighborhoods - Commercial
Board 3

Commercial & Multifamily Development



- *No comments*

Station 6: Employment Centers
“Employment Center Comments”

EMPLOYMENT CENTERS COMMENTS

Need Transportation
Residential → Employment
Bus, Trails/Bike paths
Workforce development

- Need transportation
- Residential → Employment
- Bus, trails/bike paths
- Workforce development

Station 7: Use Charts
Board 1

Proposed Residential Districts Use Chart

Use	AO	TE	R-18	R-12	R-9	R-7.5	R-5	DU	ETH	TH	TH-2	MF-1	MF-2	MF-3	MH	MHS	USE SPECIFIC STANDARDS	PARKING
ACCESSORY USES AND STRUCTURES																		
Accessory Buildings	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P		NA
Accessory Dwelling Unit	P	P	P	P	S	S	S											1 space per unit
Accessory Use												P	P	P				NA
Carport			P	P	P	P	P	P	P	P	P							
Day Care, In-Home	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P		NA
Gas and Oil Drilling Accessory Uses	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S		NA
Home Occupation	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P		NA
AGRICULTURAL AND ANIMAL USES																		
Agriculture, Farming, Ranching	P																	NA
EDUCATIONAL, INSTITUTIONAL, PUBLIC AND SPECIAL USES																		
Assisted Living Facility												P	P	P				1 space for each 2 beds or units
Cemetery, Columbarium, Mausoleum	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S		1:300 for spaced used for funeral or other services
Continuing Care Facility												P	P	P				Based on the individual requirements for each type of housing
Country Club and Golf Course	P		P	P	P	P	P	P		P								8 spaces per hole
Long Term Care Facility												P	P	P				1 space for 2 beds
Municipal Offices and Services	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P		1:300
Private Recreation Area/Facility	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P		1:300
Public Governmental Agency	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P		
Public Parks and Playgrounds	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P		NA
Public Utility Facilities	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P		1:300 for office area; minimum 1 space
Religious Assembly	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P		1 space for each 3 seats or worship spaces in main assembly area
Schools, Private	P		P	P	P	P	P	P		P	P	P	P	P				Elementary and Middle School – 1 space for each classroom plus 1 space for each 15 students, based on design capacity. High School – 1 space per 3 students, faculty and staff, based on design capacity
Schools, Public	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P		Elementary and Middle School – 1 space for each classroom plus 1 space for each 15 students, based on design capacity. High School – 1 space per 3 students, faculty and staff, based on design capacity



Development Code Overhaul



- No comments

Station 7: Use Charts
Board 2

Proposed Residential Districts Use Chart

Use	AO	TE	R-18	R-12	R-9	R-7.5	R-5	DU	ETH	TH	TH-2	MF-1	MF-2	MF-3	MH	MHS	USE SPECIFIC STANDARDS	PARKING
RESIDENTIAL USES																		
Single-Family Detached Dwelling	P	P	P	P	P	P	P	P	P	P	P							1 garage space plus 2 driveway spaces
Household Care Facility	P	P	P	P	P	P	P	P	P	P								1 garage space plus 2 driveway spaces
Manufactured Home (HUD Code)																P	P	2 spaces per unit
Duplex						P*	P*	P										
Manufactured Home Park																P		2 spaces per unit
Single-Family Attached Dwelling								P	P	P	P							1 garage space, 2 driveway spaces plus ¼ space per unit for front entry
Independent Living												P	P	P				1.2 spaces per unit
Multi-family Dwellings												P	P	P				2 spaces per unit
Dormitories for Students												P	P	P				1 space for every 2 beds
SERVICE USES																		
Day Care Center												P	P	P				1:300
TEMPORARY USES																		
Asphalt/Concrete Batch Plant (Temporary)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P		NA
Real Estate Sales Office (Temporary)		P	P	P	P	P	P	P	P	P	P							NA
Temporary Construction Buildings	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P		NA
TRANSPORTATION, UTILITY AND COMMUNICATIONS USES																		
Amateur Radio Communications Antennas/Support Structures	P	P	P	P	P	P	P	P	P	P	P							NA
Communications Antennas/Support Structures	S																	NA
Private Utility Plants or Substation	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S		1:300 for office area; minimum 1 space



Development Code Overhaul



- No comments

Station 7: Use Charts
Board 3

Proposed Mixed-Use Districts Use Chart

Use	OTMU-1	OTMU-2	OTC	MU-SC	MU	MU-90	USE SPECIFIC STANDARDS	PARKING
ACCESSORY USES AND STRUCTURES								
Accessory Buildings	P	P						NA
Accessory Dwelling Unit		P						1 space per unit
Accessory Use (limited to 10% business/area?)	P	P	P	P	P	P		NA
Carport	P							NA
Day Care, In-Home	P							NA
Gas and Oil Drilling Accessory Uses		S		S				NA
Home Occupations	P	P	P	P	P	P		NA
AGRICULTURAL AND ANIMAL USES								
Animal Care (Indoor)				P	P	P		1:300
Animal Care (Outdoor Pens or Runs)				SUP	SUP	SUP		1:300
Veterinarian (Indoor Kennels)		P		P	P	P		1:300
Veterinarian (Outdoor Kennels or Runs)				P	P	P		1:300
EDUCATIONAL, INSTITUTIONAL, PUBLIC AND SPECIAL USES								
Business or Commercial Schools and Institutions of Education		P	P	P	P	P		1 space for every 3 students, teachers and staff
Cemetery, Columbarium, Mausoleum and Accessory Uses	S	S		S		S		1:300 for space used for funeral or other services
Governmental Offices and Services	P	P	P	P	P	P		1:300
Public Parks and Playgrounds	P	P	P	P	P	P		NA
Public Utility Facilities	P	P	P	P	P	P		1:300 for office area; minimum 1 space
Religious Assembly	P	P	P	P	P	P		1 space for every 3 seats or worship spaces in main sanctuary
Schools, Private	P	P	P	P	P	P		Elementary and Middle School – 1 space for each classroom plus 1 space for each 15 students, based on design capacity. High School – 1 space per 3 students, faculty and staff, based on design capacity.
Schools, Public	P	P	P	P	P	P		Elementary and Middle School – 1 space for each classroom plus 1 space for each 15 students, based on design capacity. High School – 1 space per 3 students, faculty and staff, based on design capacity.
MANUFACTURING AND INDUSTRIAL USES								
Brewery, Distillery or Winery		P	P	P	P	P		1:1000 for manufacturing space; 1:300 for tasting rooms
OFFICE AND PROFESSIONAL USES								
Medical Offices and Clinics		P	P/S1	P	P	P		1:300
Professional and Administrative Offices	P	P	P/S1	P	P	P		1:300
RESIDENTIAL USES								
Duplex	P	P		P				1 garage space plus 2 driveway spaces
Household Care Facility	P							1 garage space plus 2 driveway spaces



Development Code Overhaul



- No comments

Station 7: Use Charts
Board 4

Proposed Mixed-Use Districts Use Chart

Use	OTMU-1	OTMU-2	OTC	MU-SC	MU	MU-90	USE SPECIFIC STANDARDS	PARKING
Multi-Family Dwelling		P	P	P	P	P		2 spaces per unit
Single-Family Attached		P		P	P	P		1 garage space, 2 driveway spaces plus ¼ space per unit for front entry lots
Single-Family Detached Dwelling	P	P						1 garage space plus 2 driveway spaces
RETAIL USES								
Building Material Sales, Including Lumber Yards		P						1:300 for retail sales area; 1:1000 for outdoor storage area
Pawn Shop		S		S	S	S		1:300
Restaurants		P	P	P	P	P		1:100
Retail Shops and Stores		P	P	P	P	P		1:300
SERVICE USES								
Bank or Financial Institution	1	P	P/S1	P	P	P		1:300
Bed and Breakfast	S	S		S	S	S		1 space per guest room plus 1 space for operator
Commercial Amusement, Indoor		P		P	P	P		Bowling – 2 spaces per lane, Skating Rink, Laser Tag or similar uses – 1:1000, Other Uses 1:300
Day Care Center		P		P	P	P		1:300
Dry Cleaning and Laundry Services		P		P	P	P		1:300
Extended Stay Hotels		S		S	S	S		1 space per guest room
Fraternal Organization or Lodge								1:300
Hotels, Motels and Inns		P	P	P	P	P		1 space per guest room
Funeral Homes or Mortuaries, with/without Crematorium		S						1:300
Licensed Massage Therapy		P		P	P	P		1:300
Personal Service		P	P	P	P	P		1:300
Theaters		P	S	P	P	P		1 space for every 3 seats
TEMPORARY USES								
Asphalt/Concrete Batch Plants (Temporary)								NA
Temporary and Seasonal Sales								NA
Temporary Construction Buildings	P	P		P	P	P		NA
Temporary Snow Cone Stands				S	S	S		NA
TRANSPORTATION, UTILITY AND COMMUNICATIONS USES								
Amateur Communication Antennas/Support Structures	P	P						NA
Communication Antennas/Support Structures		S						NA
Private Utility Plants or Substations	S	S	S	S	S	S		1:300 for office area; minimum 1 space
VEHICLE AND RELATED USES								
Automobile Parking Structures			P		P	P		NA
Gasoline Service Station		S		S	S			1:300



Development Code Overhaul



- No comments

Station 7: Use Charts
Board 5

Proposed Non Residential Districts Use Chart

Use	OD	MD	LC	GB	GB-2	LI	WH	HI	PK	PU	SU	USE SPECIFIC STANDARDS	PARKING
ACCESSORY USES AND STRUCTURES													
Accessory Buildings	P	P	P	P	P	P	P	P					NA
Accessory Dwelling Unit				S	S	S		S					NA
Accessory Use up to 10%?	P	P	P	P	P	P	P	P					Same as primary use
Gas and Oil Drilling Accessory Uses	S	S	S			S	S	S		S			NA
Open Storage (Accessory)						P	P	P					NA
AGRICULTURAL AND ANIMAL USES													
Animal Care (Indoor)	P		P	P	P	P							1:300
Animal Care (Outdoor Pens or Runs)				S	S	S							1:300
Agricultural, Farming, Ranching	S	S	S	S	S	S	S	S					NA
Veterinarian (Indoor Pens)	P		P	P	P	P							1:300
Veterinarian (Outdoor Pens or Runs)				S	S	S							1:300
EDUCATIONAL, INSTITUTIONAL, PUBLIC AND SPECIAL USES													
Assisted Living Facility		P											1 space for each 2 beds or units
Business/Commercial School or other Institution of Education	P		P	P	P	P		P					1 space for every 3 students, teachers and staff
Cemetery, Columbarium, Mausoleum and Accessory Uses	S	S	S	S	S	S	S	S		S			1:300 for space used for funeral or other services
Chapter 748 Operation		S											NA
Community Center										P			1:300 for office plus 1 space for each 4 seats in assembly areas
Continuing Care Facility	S	P	S	P	P								Based on the individual requirements for each type of housing
Country Club and Golf Course										P			8 spaces per hole
Criminal or Penal Institutions											P		1:300 for office area
Hospital		P											1 space for each bed, Medical Office or Clinic 1:300
Landfill Operations and Accessory Uses											P		1:300 for office area
Long Term Care Facility		P											1 space for every 2 beds
Governmental Offices and Services	P	P	P	P	P	P	P	P		P			1:300
Public Parks and Playgrounds	P	P	P	P	P	P	P	P		P			NA
Private Stadium/Sports Arena or Field			S	S	S	S		S					1 space for each 4 seats
Public Utility Facilities										P			1 space per employee; minimum 1 space
Religious Assembly	P	P	P	P	P	P	P	P		P			1 space for every 3 seats or worship spaces in main assembly area
Schools, Private	P	P	P	P	P	P				P			Elementary and Middle School – 1 space for each classroom plus one space for each 15 students based on design capacity. High School – 1 space per 3 students, faculty and staff, based on design capacity.
Schools, Public or Parochial	P	P	P	P	P	P				P			Elementary and Middle School – 1 space for each classroom plus one space for each 15 students, based on design capacity. High School – 1 space per 3 students, based on design capacity, faculty and staff.



Development Code Overhaul



- No comments

Station 7: Use Charts
Board 6

Proposed Non Residential Districts Use Chart

Use	OD	MD	LC	GB	GB-2	LI	WH	HI	PK	PU	SU	USE SPECIFIC STANDARDS	PARKING
TEMPORARY USES													
Asphalt/Concrete Batch Plant (Permanent)								S			P		1:300 for office area
Asphalt/Concrete Batch Plant (Temporary)	P	P	P	P	P	P	P	P					NA
Seasonal Sales	S	S	S	S	S	S							NA
Temporary Construction Buildings	P	P	P	P	P	P	P	P		P			NA
Temporary Snow Cone Stands			S	S	S	S							NA
MANUFACTURING USES													
Brewery, Distillery or Winery				P	P	P		P					1:1000 for manufacturing space; 1:300 for tasting rooms
Cleaning, Laundry and Dyeing Plant						S		P					1:1000
Laboratory-Scientific Research and Testing		P				P	P	P					1:300
Manufacturing, Light Intensity						P	P	P					1:1000
Manufacturing, Medium Intensity						S	P	P					1:1000
Manufacturing, Heavy Intensity							S	S					1:1000
Mining Activities											P		1:300 for office area
Recycling Facility								S					1:300 for office area
OFFICE USES													
Medical Offices and Clinics	P	P	P	P	P	P							1:300
Professional and Administrative Offices	P		P	P	P	P							1:300
RETAIL USES													
Bakery/Food Production with Retail Sales			P	P	P	P		P					1:300
Bar				S	S	S		S					1:150
Building Material Sales, Including Lumber Yards				S	S	S		S					1:300 for retail sales area ; 1:1000 for outdoor storage area
Grocery Stores			P	P	P	P							1:300
Incidental Retail			P										1:300
Kiosks			S	S	S	S							2 spaces
Pawn Shops						P							1:300
Plant Nursery – Retail Sales (indoor)			P	P	P	P							Indoor: 1:300
Plant Nursery – Retail Sales (outdoor)			S	S	S	S		S					Indoor: 1:300
Outdoor 1:1000													
Restaurants			P	P	P	P							
Retail Stores and Shops			P	P	P	P							1:300



Development Code Overhaul



- No comments

Station 7: Use Charts
Board 7

Proposed Non Residential Districts Use Chart

Use	OD	MD	LC	GB	GB-2	LI	WH	HI	PK	PU	SU	USE SPECIFIC STANDARDS	PARKING
SERVICE USES													
Bank or Financial Institution	P		P	P	P	P							1:300
Bed and Breakfast													1 space per guestroom plus 1 space for operator
Beverage Container Recycling Facility			S	S	S	S		S					2 spaces
Commercial Amusement, Indoor			P	P	P	P		P					Bowling – 2 spaces per lane
Skating Rink, Laser Tag or similar uses – 1:1000													
Other Uses – 1:300													
Commercial Amusement, Outdoor				S	S	S		S					Indoor: 1:300
Outdoor 1:1000													
Credit Access Business						P							1:300
Day Care Center	P	P	P	P	P	P							1:300
Dry Cleaning and Laundry Services			P	P	P	P							1:300
Extended Stay Hotels				S	S	S		S					1 space per guestroom
Hotels, Motels and Inns				P	P	P		P					1 space per guestroom
Flea Market – Outdoor				S	S	S		S					1:1000 for booth and display area
Fraternal Organization or Lodge			P	P	P	P							1:300
Funeral Homes or Mortuaries, with/without Crematorium				S	S	S		S					1:300
Licensed Massage Therapy	P	P	P	P	P								1:300
Nightclub				S	S	S		S					1:150
Personal Service													1:300
RV Park						S		S					1 space per lease space
Service Contractor				P	P	P	P	P					1:300
Shooting Range (Indoor/ Outdoor)						S		S					Indoor: 1:300
Outdoor: 1:1000													
Theaters			P	P	P	P							1 space for every 3 seats
TRANSPORTATION, UTILITY AND COMMUNICATIONS USES													
Airport/Heliport						S		S					1:300 for office/terminal space
Communication Antennas/Support Structures			S	S	S	S	S	S					NA
Helipad or Helistop		S		S	S	S		S					NA
Private Utility Plants or Substations	S	S	S	S	S	S	S	S		S			1:300 for office area; minimum 1 space
Radio or Television Broadcasting Station or Studio with Towers				S	S	S		S					1:300 for studio space
Contractor's Yard							S	S					1:300 for office area; minimum 1 space

- No comments

Station 7: Use Charts
Board 8

Proposed Non Residential Districts Use Chart

Use	OD	MD	LC	GB	GB-2	LI	WH	HI	PK	PU	SU	USE SPECIFIC STANDARDS	PARKING
VEHICLE AND RELATED USES													
Auction Yard (Vehicle)						S		S					1:300 for Office/Sales Area plus one space for each low truck
Automobile Sales and Leasing				S	S	S		S					1:500 for office/sales area plus 1 space for each service bay
Auto Parts Sales													1:300 for sales area plus one space per service bay
Auto Repair (Minor)													1:300 for office area plus 1 space for each service bay
Auto Repair (Major)						S	S	S					1:300 for office area plus 1 space for each service bay
Car Wash													1 space per self-service bay plus one space per detailing bay
Farm Implement Display and Sales				S	S	P		S					Indoor sales and display: 1:500
Outdoor 1:1000													
Gasoline Service Station			S	S	S	S		S					1:300
Heavy Equipment Sales/Rental and Service						S		S					Indoor sales and display: 1:500
Outdoor: 1:1000													
Mobile Home Display and Sales						S		S					1:300 for office/sales area
Motorcycle Sales and Service				S	S	S		S					1:500 for indoor sales and display
Motor Freight Terminal							S	S					1:300 for office area
Recreational Vehicle Sales and Service						S		S					1:500 for office/sales area plus 1 space per service bay
Travel Trailer/Boat/RV Storage (Outside)						S	S	S					1:300 for office area
Truck Parking Lot							S	S					NA
Wrecker Service, Auto Salvage, Junk Yards								P					1:300 for office area plus one space for each low truck
WAREHOUSE AND STORAGE USES													
Open Storage (Primary Use)							S	S					1:300 for office area; minimum 1 space
Self-Storage/Mini-Warehouse						S	S						1 space per 30 storage units
Storage Warehouse with Open Storage Yards							S	S					1:300 for office space; 1:1000 for warehouse and storage area
Warehouse Distribution Facilities						P	P	P					1:300 for office space; 1:1000 for warehouse area
Wholesale Establishment				S	S	S	P	P					1:300 for office space; 1:1000 for warehouse area



Development Code Overhaul



- No comments

Station 7: Use Charts
“Use Chart Comments”

USE CHART COMMENTS

Parking ratios where buildings have mixed use need to allow less parking (10% per restaurant relief is not good if 50,000 sf)

- Parking ratios where buildings have mixed use need to allow less parking (10% for restaurant relief is not good if 50,000 sf)

Station 8: Other?
“Other Comments”

OTHER COMMENTS

- Make sure Lewisville lists their 100yr intensity values on the IDF curves

- *Make sure Lewisville lists their 100yr intensity values on the IDF curves*

**Station 8: Other?
Comment Form**

Development Code Update – Community Open House Comment Form

Station 5: New Neighborhood Choices

My additional questions or comments are: _____

Station 6: Employment Centers

My additional questions or comments are: _____

Station 7: Use Charts

My additional questions or comments are: _____

Other Comments and Contact Information (optional)

My additional questions or comments are: Automotive - the SUP process
restricts auto sales where all cars are stored
inside (internet car sales) from occupying rental property
NO landlord will wait 90 days to know if the
tenant will be allowed on SUP.

Name: Alex Buck Email: Quivra.alex@gmail.com

ALSO. The Automotive SUP restricts High end auto
repair from occupying rental space. These cars are
stored inside because of their value (Rolls Royce,
Bentley, multiple \$100K restorations) Restrict outside
car repair storage and problem solved with no SUP.

  
Kimley»Horn

Also, differentiate between Paintless Dent Repair &
Body Shops.

- Automotive – the SUP process restricts auto sales where all cars are stored inside (internet car sales) from occupying rental property. No land lord will wait 90 days to know if the tenant will be allowed on an SUP. Also the automotive SUP restricts high end auto repair from occupying rental space. These cars are stored inside because of their value (Rolls-Royce, Bentley, multiple \$100,000 restorations) Restrict outside car repair storage and problem solved with no SUP. Also differentiate between Paintless Dent Repair and Body Shops. Name: Alex Buck. Email: Quivra.alex@gmail.com