
Residential Fences

General Information

Any new fence or replacement fence exceeding 20 feet in length requires a permit. If a contractor is used, that contractor must be registered in the City of Lewisville.

Plans Submittal Requirements

The following is a general outline of drawings and documents necessary for plan review (Building Inspection may request additional information if necessary).

1. Site plan must include location of fencing on the property, Intersections of streets, roads, highways, alleys driveways and Corner "visibility range," when required, shall be shown.
2. Fence elevations identifying height of fence and type of materials to be used.
3. Structural plans must include sections and details of all footings (if applicable).
4. Gate submittal requires stamped survey indicating location of gate. Fence/gate prohibited from encroaching city right of way. **Sliding gates shall be installed inside the fence line and not on the alley side.** All encroachments shall be removed.
5. Encroachment of retaining walls within an electric easement requires an approval on letterhead stationery from utility provider.

Fees

A permit fee is required.

Inspections

An inspection will be required upon completion of work. Once the work is complete, the contractor shall request a final inspection.

Online Contractor Registration, Application and Inspections

Effective October 1, 2019, the City of Lewisville's NEW online permitting & inspections system can be found at www.mygovernmentonline.org.

You must create an account in order to register as a contractor, apply for permits or request inspections.

To create an account...

Click CREATE ACCOUNT in the upper right corner of the home page, fill out all required fields, then click CREATE ACCOUNT.

To register as a contractor...

Hover your cursor over PERMITS & LICENSING in the upper left corner of the home page, then click APPLY ONLINE. While filling out the application, select PERMIT when asked which "Project Type" you're applying for. Select CONTRACTOR REGISTRATION when asked which "Application Type" you're applying for. Fill out all required fields and submit your completed application for review.

To apply for a permit...

Hover your cursor over PERMITS & LICENSING in the upper left corner of the home page, then click APPLY ONLINE. While filling out the application, select PERMIT when asked which "Project Type" you're applying for. Select FENCE - RESIDENTIAL when asked which "Application Type" you're applying for. Fill out all required fields and submit your completed application for review.

To request an inspection...

You must first search for and locate the permit for which you would like to request an inspection. Hover your cursor over PERMITS & LICENSING in the upper left corner of the home page, then click SEARCH PERMITS. Once you locate your permit, click the REQUEST INSPECTION button on the right side of the permit listing. Fill out all required fields, then click ADD.

Contact our Customer Support Line at 866-957-3764, extension #1, for assistance with online accounts, applications and inspections.

Sec. 4-453. - General requirements and restrictions.

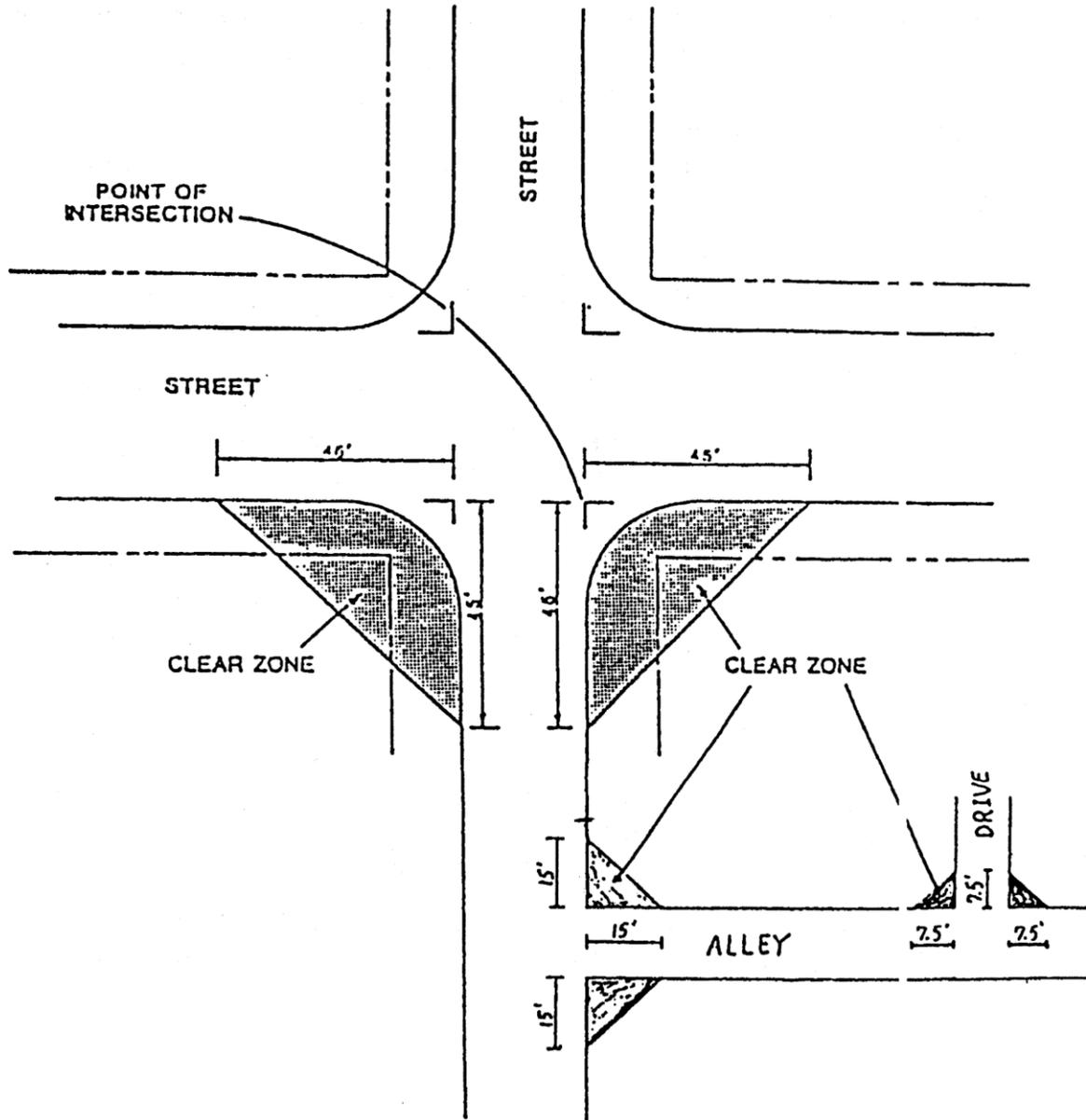
- (a) Fences constructed on any lot, and specifically corner lots, will be subject to, and shall conform to the visibility range requirements contained in the drawing at the end of this section. An additional clear zone may be required by the city engineer.
- (b) No fence, guy wire, brace or post shall be constructed upon or extend over property that the city has control over, owns or has an easement over or under, except upon:
 - (1) Underground drainage easements that contain nonpressurized storm sewer pipes.
 - (2) Underground sanitary sewer easements that contain nonpressurized pipes.
 - (3) Utility easements if written permission is granted by all users.

No public drainage easement shall be fenced or obstructed in any manner, if the drainage is above ground. A gate shall be constructed in a fence along easements to allow ingress and egress for maintenance purposes, when applicable. Fences shall be allowed to be erected within private drainage easements provided that the materials used are chain link, tubular steel or "good neighbor" board on board with open slat spacing. Such fencing shall be constructed to avoid backflow of water within the private drainage easement.

- (c) No fence shall exceed ten feet in height measured from the finished grade of the lot or property upon which the fence is being erected except as otherwise provided for in this article.
- (d) No fence erected within the city limits shall be electrically charged in any manner.
- (e) No fence shall be constructed of barbed wire except on property zoned agriculture-open space and is five acres or greater in size, or except as provided for in subsection (g) of this section.
- (f) All fences shall have a minimum of one gate for emergency ingress and egress. The minimum width of such gate shall be three feet. A driveway approach, in conformance with the general development ordinance and approved by the engineering division, shall be required for all vehicle gates.
- (g) In LC, GB, WH, LI, HI, PK, PU and FP zoning districts, fences six feet or greater in height may be constructed with angle arms at the top and such angle arms may be armed with barbed wire. Such arms shall not extend over public property, city, county, or state rights-of-way, easements or private property. Any property that requires a screening device shall conform to the general development ordinance.
- (h) Materials.
 - (1) *Permitted materials.* Materials permitted are wood, metal tubing or wrought iron, stone, masonry and chain link. Vinyl or fiberglass composite materials may be utilized if the material is listed, designed and constructed for fencing materials. Metal posts will be allowed on wood fences.
 - (2) *Prohibited materials.*
 - a. No person shall use rope, string, wire products including, but not limited to chicken wire, hog wire, wire fabric, barbed wire (except as allowed in other sections of this code), razor ribbon wire and similar welded or woven wire fabrics, chain, netting, cut or broken glass, paper, metal panels, corrugated metal panels, galvanized sheet metal, plywood, fiberglass panels or plastic panels in any fence or any other materials that are not manufactured specifically as fencing materials. The building official of the building inspection

- division of the community development department may require the applicant to provide the manufacturer's standards to establish the intended use of a proposed fencing material.
- b. No person shall construct a fence of wood, metal or plastic products that are designed specifically for uses other than fence construction.
 - c. No person shall construct a fence of used, damaged or unsafe materials.
 - d. No person shall weave or use slats of any material, including but not limited to metal, fiberglass, or bamboo, through a chain link fence to create a blind fence, screening fence or any other type of fence addressed in this chapter.
 - e. Used materials, equipment and devices shall not be reused unless it can be determined by the building official of the building inspection division of the community development department that they meet the requirements of the building code for new materials.
- (3) *Exceptions.* See subsections 4-453(e) and 4-453(g)
- (i) All semipublic swimming pools shall have a fence or enclosure which complies with the following:
- (1) The top of the barrier shall be at least 72 inches above grade measured on the side of the barrier which faces away from the swimming pool. The maximum vertical clearance between grade and the bottom of the barrier which faces away from the swimming pool shall be two inches. Where the barrier is mounted on top of the pool structure, the maximum vertical clearance between the top of the pool structure and the bottom of the barrier shall be two inches.
 - (2) Openings in the barrier shall not allow passage of more than a four-inch diameter sphere.
 - (3) Solid barriers which do not have openings, such as a masonry or stone wall, shall not contain indentations or protrusions except for normal construction tolerances and tooled masonry joints.
 - (4) Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is less than 45 inches, the horizontal members shall be located on the swimming pool side of the fence. Spacing between vertical members shall not exceed 1¾ inches in width.
 - (5) Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is 45 inches or more, spacing between vertical members shall not exceed four inches. Where there are decorative cut outs within vertical members, spacing within the cutouts shall not exceed 1¾ inches in width.
 - (6) Maximum mesh size for chain link fences shall be a 1¾-inch square unless the fence is provided with slats fastened at the top and the bottom which reduce the openings to no more than 1¾ inches.
 - (7) Where the barrier is composed of diagonal members, such as a lattice fence, the maximum opening formed by the diagonal members shall be no more than 1¾ inches.
 - (8) Access gates shall comply with the requirements of previous paragraphs (1) through (7) of this subsection, and shall be equipped to accommodate a locking device. Gates

- shall have self-closing and self-latching devices which shall meet the following three requirements:
- a. The release mechanism of the self-latching device must be located not less than 45 inches from the grade below the gate.
 - b. The release mechanism shall be located on the pool side of the gate at least three inches below the top of the gate.
 - c. The gate and barrier shall have no opening greater than one-half inch within 18 inches of the release mechanism.
- (9) Where a wall of a dwelling serves as part of the barrier, direct access to the pool through the wall shall be limited to doors and windows which meet the following conditions:
- a. Windows leading to the pool area shall have a latching device at least 54 inches above the floor.
 - b. Hinged doors leading to the pool area shall be self-closing and shall have a self-latching device. The release mechanism, if not self-locking, shall be located at least 54 inches above the floor.
 - c. Sliding doors or sliding screen doors leading to the pool area shall be self-closing and shall have a self-latching device. The release mechanism, if not self-locking, shall be located at least 54 inches above the floor.
- (10) Barriers shall be located so as to prohibit permanent structures, landscaping objects, stationary equipment, or similar objects from being used to climb the barriers.
- (j) No fence shall be constructed in the required front yard building setback area of R, DU, TH, PH, OD or MD zoning districts, except that a decorative fence may be constructed to a height no greater than three and one-half feet above the finished lot grade and the solid area of such fence shall not exceed 50 percent of the total. Where a single family residence on a corner lot has two front yards as required by city ordinance and the residence is constructed facing one of the two front yards, the second front yard may be fenced in the same manner as any other side yard provided that the adjoining lot does not have a residence that fronts the same setback.
- (k) In all zoning districts where outside storage of material, equipment, goods and supplies is allowed, all fencing shall comply with the general development ordinance.



Intersection Sight Triangle

(l) Yard fencing. Within the Old Town Center design district and the Old Town design district as defined in chapter 9.5, Old Town development, regardless of zoning classification or other provisions of this chapter, except as may be specifically required by the Old Town Development Ordinance, fences shall be constructed as follows.

(1) *Right-of-way yard fence.* No solid fence, except a decorative low profile yard fence, shall be constructed closer to a front yard right-of-way line than the primary structure on that lot or within ten feet of a front yard right-of-way line, whichever is more restrictive. In the event that portions of the front elevation of a primary structure are

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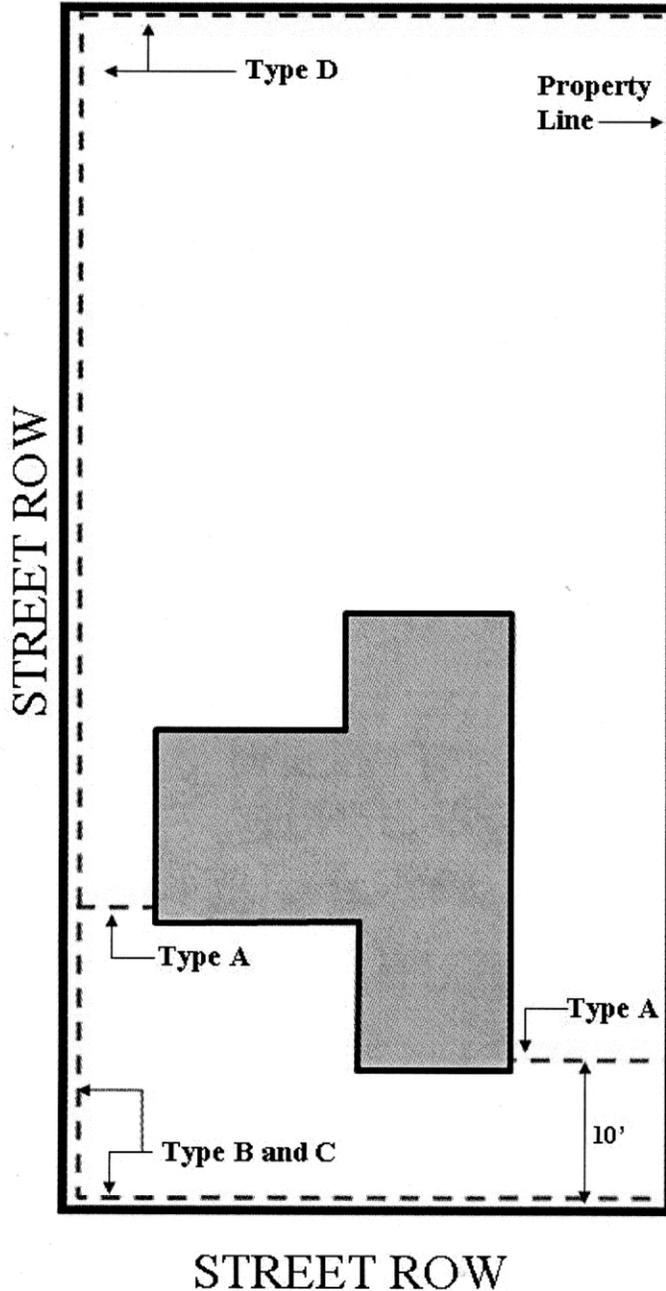
closer to the front property line than other portions, it is the intent of this chapter to not allow any solid fence to be constructed closer to the front property line than the portion of the front elevation nearest to the right-of-way yard fence. In no event shall any portion of the front elevation be blocked by a solid right-of-way yard fence.

- a. *Height.* A right-of-way yard fence shall be constructed to a height no greater than eight feet above the finished lot grade at the location of the fence.
 - b. *Permitted materials.* Materials permitted for a right-of-way yard fence are brick, stone, decorative block, wood, metal tubing or wrought iron. Vinyl or fiberglass composite materials may be utilized if the material is listed, designed and constructed for fencing materials. Metal posts will be allowed on wood fences.
 - c. *Prohibited materials.*
 1. No person shall use for a right-of-way yard fence chain link, rope, string, wire products including, but not limited to chicken wire, hog wire, wire fabric, barbed wire (except as allowed in other sections of this code), razor ribbon wire and similar welded or woven wire fabrics, chain, netting, cut or broken glass, paper, metal panels, corrugated metal panels, galvanized sheet metal, plywood, fiberglass panels or plastic panels in any fence or any other materials that are not manufactured specifically as fencing materials. The building official of the building inspection division of the community development department may require the applicant to provide the manufacturer's standards to establish the intended use of a proposed fencing material.
 2. No person shall construct a fence of wood, metal or plastic products that are designed specifically for uses other than fence construction.
 3. No person shall construct a fence of used, damaged or unsafe materials.
 4. No person shall weave or use slats of any material, including but not limited to metal, fiberglass, or bamboo, through a chain link fence to create a blind fence, screening fence or any other type of fence addressed in this chapter.
 5. Used materials, equipment and devices shall not be reused unless it can be determined by the building official of the building inspection division of the community development department that they meet the requirements of the building code for new materials.
- (2) *Right-of-way decorative yard fence.* Any fence, except a decorative low profile yard fence, that is constructed between any structure on the lot and the front yard right-of-way line shall be a minimum of 75 percent open.
- a. *Height.* A right-of-way decorative yard fence shall be constructed to a height no greater than six feet above the finished lot grade at the location of the fence.
 - b. *Permitted materials.* Materials permitted for a right-of-way decorative yard fence are brick, stone, decorative block, wood, metal tubing or wrought iron. Vinyl or fiberglass composite materials may be utilized if the material is listed, designed and constructed for fencing materials. Metal posts will be allowed on wood fences.
 - c. *Prohibited materials.*

1. No person shall use for a right-of-way decorative yard fence chain link, rope, string, wire products including, but not limited to chicken wire, hog wire, wire fabric, barbed wire (except as allowed in other sections of this code), razor ribbon wire and similar welded or woven wire fabrics, chain, netting, cut or broken glass, paper, metal panels, corrugated metal panels, galvanized sheet metal, plywood, fiberglass panels or plastic panels in any fence or any other materials that are not manufactured specifically as fencing materials. The building official of the building inspection division of the community development department may require the applicant to provide the manufacturer's standards to establish the intended use of a proposed fencing material.
 2. No person shall construct a fence of wood, metal or plastic products that are designed specifically for uses other than fence construction.
 3. No person shall construct a fence of used, damaged or unsafe materials.
 4. No person shall weave or use slats of any material, including but not limited to metal, fiberglass, or bamboo, through a chain link fence to create a blind fence, screening fence or any other type of fence addressed in this chapter.
 5. Used materials, equipment and devices shall not be reused unless it can be determined by the building official of the building inspection division of the community development department that they meet the requirements of the building code for new materials.
- (3) *Decorative low-profile yard fence* . Fences that are constructed to a height no greater than 24 inches above the finished lot grade at the location of the fence may be constructed at the right-of-way line.
- a. *Permitted materials* . Materials permitted for a decorative low-profile yard fence are brick, stone, decorative block, wood, metal tubing or wrought iron. Vinyl or fiberglass composite materials may be utilized if the material is listed, designed and constructed for fencing materials. Metal posts will be allowed on wood fences.
 - b. *Prohibited materials*.
 1. No person shall use for a decorative low-profile yard fence chain link, rope, string, wire products including, but not limited to chicken wire, hog wire, wire fabric, barbed wire (except as allowed in other sections of this code), razor ribbon wire and similar welded or woven wire fabrics, chain, netting, cut or broken glass, paper, metal panels, corrugated metal panels, galvanized sheet metal, plywood, fiberglass panels or plastic panels in any fence or any other materials that are not manufactured specifically as fencing materials. The building official of the building inspection division of the community development department may require the applicant to provide the manufacturer's standards to establish the intended use of a proposed fencing material.
 2. No person shall construct a fence of wood, metal or plastic products that are designed specifically for uses other than fence construction.
 3. No person shall construct a fence of used, damaged or unsafe materials.

4. No person shall weave or use slats of any material, including but not limited to metal, fiberglass, or bamboo, through a chain link fence to create a blind fence, screening fence or any other type of fence addressed in this chapter.
 5. Used materials, equipment and devices shall not be reused unless it can be determined by the building official of the building inspection division of the community development department that they meet the requirements of the building code for new materials.
- (4) *Property line/other fence.* A fence that is on a side or rear property line, not meeting the requirements of the fence types above may be a solid fence meeting the requirements of this section.
- a. *Height.* A property line/other fence shall be constructed to a height no greater than six feet above the finished lot grade at the location of the fence when located between the primary structure and a side yard right-of-way line. In all other allowed locations, the maximum height shall be no greater than eight feet above the finished lot grade at the location of the fence.
 - b. *Location.* A property line/other fence may be constructed on a side or rear property line when the side or rear property line is not a street right-of-way. If the side or rear property line is a right-of-way then the fence must have a minimum two-foot setback from the right-of-way. If a driveway enters the lot from a side or rear property line the fence must have a minimum ten-foot setback from the right-of-way. A solid property line/other fence may not extend closer to a front right-of-way line than the established fence line allowed by a right-of-way yard fence.
 - c. *Permitted materials.* Materials permitted for a property line/other fence are brick, stone, decorative block, wood, chain link, metal tubing or wrought iron. Vinyl or fiberglass composite materials may be utilized if the material is listed, designed and constructed for fencing materials. Metal posts will be allowed on wood fences.
 - d. *Prohibited materials.*
 1. No person shall use for a property line/other fence rope, string, wire products including, but not limited to chicken wire, hog wire, wire fabric, barbed wire (except as allowed in other sections of this code), razor ribbon wire and similar welded or woven wire fabrics, chain, netting, cut or broken glass, paper, metal panels, corrugated metal panels, galvanized sheet metal, plywood, fiberglass panels or plastic panels in any fence or any other materials that are not manufactured specifically as fencing materials. The building official of the building inspection division of the community development department may require the applicant to provide the manufacturer's standards to establish the intended use of a proposed fencing material.
 2. No person shall construct a fence of wood, metal or plastic products that are designed specifically for uses other than fence construction.
 3. No person shall construct a fence of used, damaged or unsafe materials.
 4. No person shall weave or use slats of any material, including but not limited to metal, fiberglass, or bamboo, through a chain link fence to create a blind fence, screening fence or any other type of fence addressed in this chapter.

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5. Used materials, equipment and devices shall not be reused unless it can be determined by the building official of the building inspection division of the community development department that they meet the requirements of the building code for new materials.
- (5) *Fence diagrams*. The following fence diagrams shall be used for reference purposes as allowable locations of fences in the Old Town Center design district and the Old Town design district.



FENCE TYPES

Type A – Right-of-way Yard Fence

- Solid Fence
- More restrictive of 10' to ROW or primary building front
- Brick, Stone, Wood, Decorative Iron
- Max. 6' Tall

Type B – Right-of-way Decorative Yard Fence

- 75% Open Fence
- Anywhere on lot
- Brick, Stone, Wood, Decorative Iron
- Max. 6' Tall

Type C – Decorative Low-Profile Yard Fence

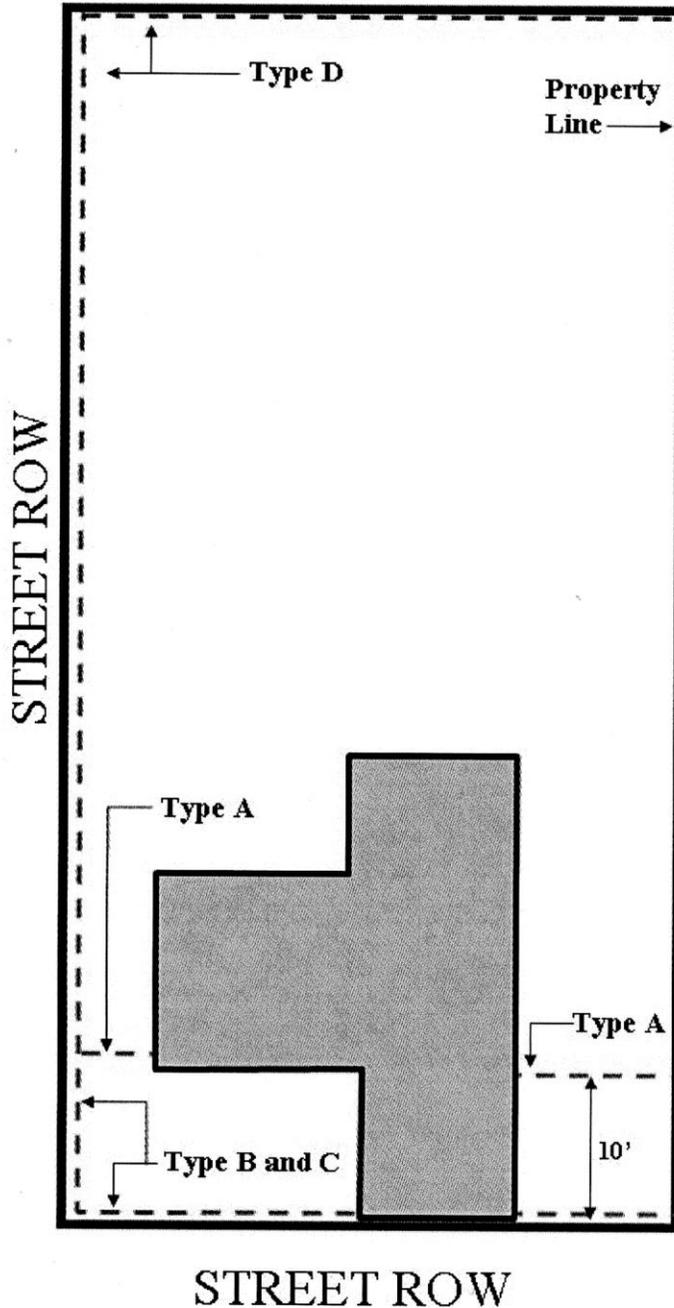
- Solid Fence
- Anywhere on lot
- Brick, Stone, Wood, Decorative Iron
- Max. 24" Tall

Type D – Property Line/Other Fence

- Solid Fence
- Side or Rear Yard
- Brick, Stone, Wood, Decorative Iron, Chain-link
- Max. 6' or 8' Tall depending on location

Fence Diagram, Example 1

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FENCE TYPES

Type A – Right-of-way Yard Fence

- Solid Fence
- More restrictive of 10' to ROW or primary building front
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Type B – Right-of-way Decorative Yard Fence

- 75% Open Fence
- Anywhere on lot
- Brick, Stone, Wood, Decorative Iron
- Max. 6' Tall

Type C – Decorative Low-Profile Yard Fence

- Solid Fence
- Anywhere on lot
- Brick, Stone, Wood, Decorative Iron
- Max. 24" Tall

Type D – Property Line/Other Fence

- Solid Fence
- Side or Rear Yard
- Brick, Stone, Wood, Decorative Iron, Chain-link
- Max. 6' or 8' Tall depending on location

Fence Diagram, Example 2

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FENCE TYPES

Type A – Right-of-way Yard Fence

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- More restrictive of 10' to ROW or primary building front
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Type B – Right-of-way Decorative Yard Fence

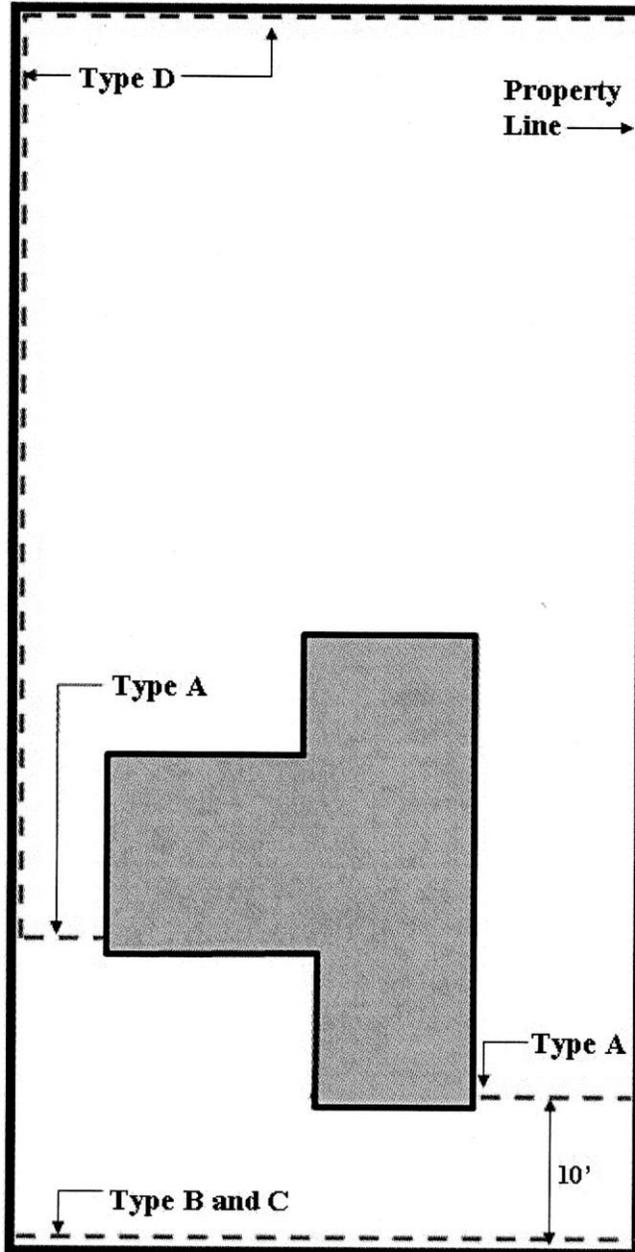
- 75% Open Fence
- Anywhere on lot
- Brick, Stone, Wood, Decorative Iron
- Max. 6' Tall

Type C – Decorative Low-Profile Yard Fence

- Solid Fence
- Anywhere on lot
- Brick, Stone, Wood, Decorative Iron
- Max. 24" Tall

Type D – Property Line/Other Fence

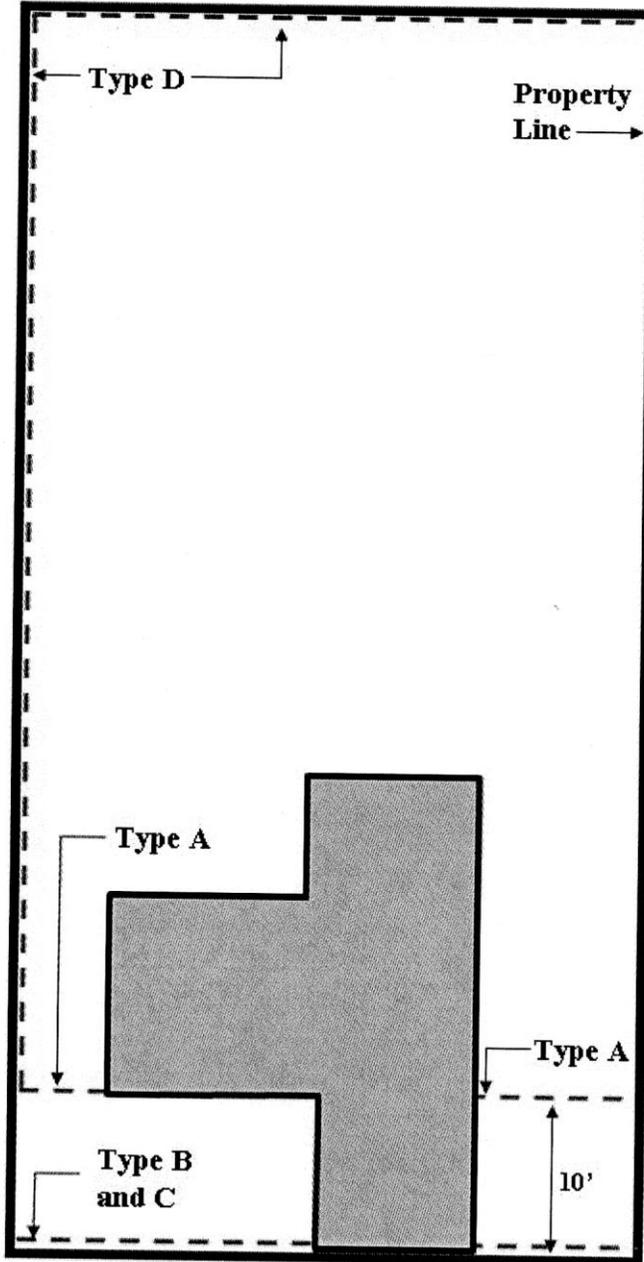
- Solid Fence
- Side or Rear Yard
- Brick, Stone, Wood, Decorative Iron, Chain-link
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STREET ROW

Fence Diagram, Example 3

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STREET ROW

FENCE TYPES

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Type B – Right-of-way Decorative Yard Fence

- 75% Open Fence
- Anywhere on lot
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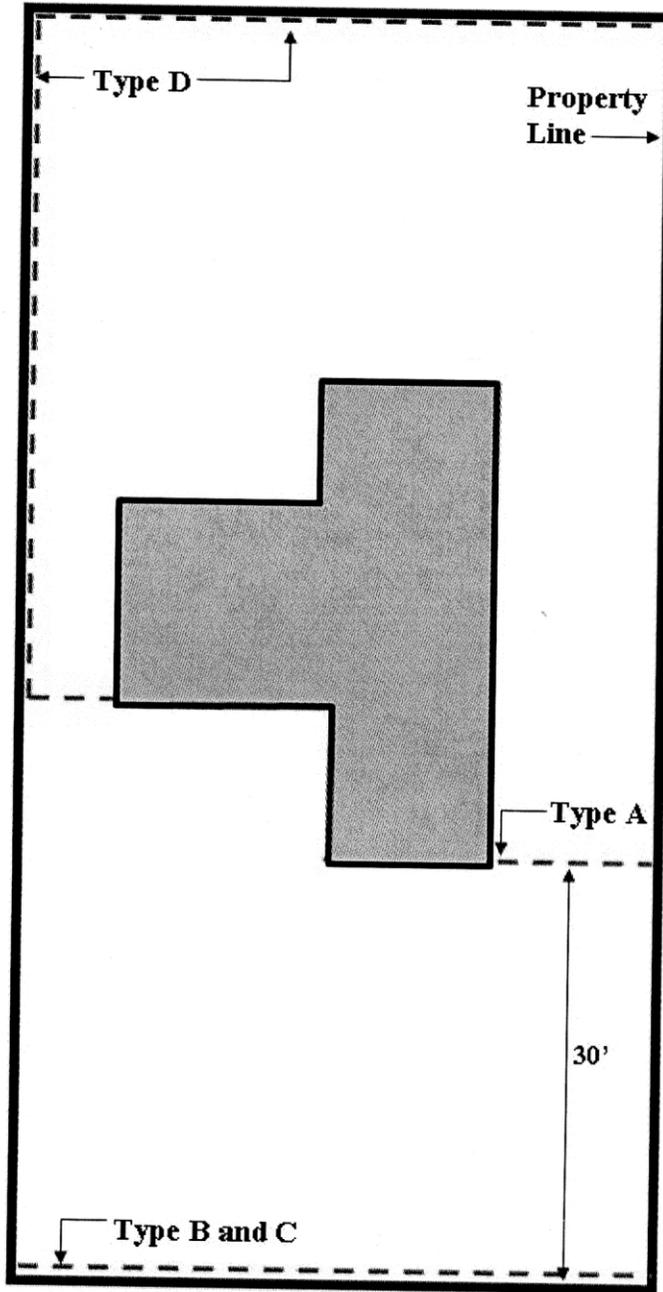
- Solid Fence
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Type D – Property Line/Other Fence

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- Brick, Stone, Wood, Decorative Iron, Chain-link
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Fence Diagram, Example 4

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STREET ROW

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Type C – Decorative Low-Profile Yard Fence

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Type D – Property Line/Other Fence

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Fence Diagram, Example 5

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- (6) *Non-conforming fence.* In the Old Town Center design district and the Old Town design district, any fence legally in existence at the time of the creation of this subsection that does not fully comply with the requirements of this subsection shall be considered legally nonconforming and may remain in place. Any nonconforming fence may be replaced, repaired or maintained in its current location without losing its nonconforming status. Any nonconforming fence that is enlarged, expanded or modified shall be made to conform to the specific requirements of fences in the Old Town Center design district and the Old Town design district or be removed. No addition, expansion or construction of a structure on a lot in the Old Town Center design district and the Old Town design district shall be allowed to create a nonconforming fence.

(Ord. No. 1561-9-90, § XIV, 9-10-90; Ord. No. 1688-3-92, § I, 3-16-92; Ord. No. 1910-4-94, § I(1)—(4), 4-4-94; Ord. No. 1978-10-94, § I, 10-3-94; Ord. No. 2165-10-96, § I, 10-21-96; Ord. No. 2345-6-98, § I, 6-1-98; Ord. No. 2602-9-2000, § A, 9-18-00; Ord. No. 3107-08-2004, § I, 8-16-04; Ord. No. 3300-01-2006, § I, 1-9-06; Ord. No. 3330-04-2006, § I, 4-3-06; Ord. No. 3358-07-2006, §§ 8, 9, 7-10-06; Ord. No. [3764-05-2010](#), § 1, 5-3-10; Ord. No. [4053-03-2014](#), § 1, 3-17-14)